

A.B.	Anchor Bolt	INSUL.	Insulation
ABV.	Above	INT.	Interior
A.C.	Asphalt Concrete		
ACOUS.	Acoustical	JAN.	Janitor
ADJ.	Adjustable	JST.	Joist
A.D.	Area Drain	JT.	Joint
A.F.F.	Above Finish Floor		
AGGR.	Aggregate	L.	Length
AL. (ALUM.)	Aluminum	LAM.	Laminate
APPROX.	Approximate	LAV.	Lavatory
ARCH.	Architectural	LKR.	Locker
A.S.L.	Above Sea Level	L.P.	Low Point
		LT.	Light
BD.	Board		
BITUM.	Bituminous	MAX.	Maximum
BLDG.	Building	MECH.	Mechanical
BLK.	Block	MEMB.	Membrane
BLKG.	Blocking	MEZZ.	Mezzanine
BM.	Beam	MFR.	Manufacturer
B.O.	Bottom Of	MIN.	Minimum
BOT.	Bottom	MIR.	Mirror
BTWN.	Between	MISC.	Miscellaneous
B.U.	Built-up	MOD.BIT.	Modified Bitumen
B.U.R.	Built-up Roofing	MTD.	Mounted
		MTL.	Metal
		MUL.	Mullion
CAB.	Cabinet		
CEM.	Cement	(N)	New
CER.	Ceramic	N.I.C.	Not In Contract
C.I.	Cast Iron	NOM.	Nominal
C.J.	Control Joint	N.O. or #	Number
CLG.	Ceiling	N.T.S.	Not to Scale
CLO.	Closet		
CLR.	Clear	O.A.	Overall
CNTR.	Counter	OBS.	Obscure
COL.	Column	O.C.	On Center
CONC.	Concrete	O.D.	Outside Diameter
CONN.	Connection	OFF.	Office
CONST.	Construction	OPG.	Opening
CONT.	Continuous	OPP.	Opposite
CORR.	Corridor		
CPT.	Carpet	PERF.	Perforated
CTR.	Center	PL.	Plate
		P.L.	Property Line
DBL.	Double	PLAM.	Plastic Laminate
DEPT.	Department	PLAS.	Plaster
DET.	Detail	PLYVD.	Plywood
DIA.	Diameter	PNL.	Panel
DIM.	Dimension	PR.	Pair
DISP.	Dispenser	PRCST.	Pre-cast
DN.	Down	PT.	Pressure Treated
D.O.	Door Opening	PTD.	Painted
DR.	Door		
DS.	Downspout		
D.S.P.	Dry Standpipe	QTY.	Quantity
DWG.	Drawing		
DWR.	Drawer	R.	Riser
		RAD.	Radius
EA.	Each	R.D.	Roof Drain
EJ.	Expansion Joint	RDWD.	Redwood
EL. (ELEV.)	Elevation	REF.	Reference
ELEC.	Electrical	REINF.	Reinforce, (d), Reinforcing
EMER.	Emergency	REQ.	Required
ENCL.	Enclosure	RESIL.	Resilient
EQ.	Equal	REV.	Revision, (s), Revised
EQPT.	Equipment	RGTR.	Register
EXP.	Expansion	RM.	Room
EXPO.	Exposed	R.O.	Rough Opening
EXG. or (E)	Existing	R.W.L.	Rain Water Leader
EXT.	Exterior		
		S.C.	Solid Core
FA.	Fire Alarm	S.C.D.	See Civil Drawings
FB.	Flat Bar	SCHED.	Schedule
FD.	Floor Drain	SECT.	Section
FND.	Foundation	S.E.D.	See Electrical Drawings
FF.	Finish Floor	SH. & P.	Shelf & Pole
FFE.	Finish Floor Elevation	SHR.	Shower
FIN.	Finish	SHT.	Sheet
FIXT.	Fixture	SIM.	Similar
FLASH.	Flashing	S.L.D.	See Landscape Drawings
FLR.	Floor	S.M.D.	See Mechanical Drawings
FO.C.	Face of Concrete	S.P.D.	See Plumbing Drawings
FO.F.	Face of Finish	SPEC.	Specification
F.O.S.	Face of Stud	SQ.	Square
FPRF.	Fireproof	S.S.D.	See Structural Drawings
FRMG.	Framing	SST.	Stainless Steel
FR.T.	Fire-Retardant Treated (ment)	STD.	Standard
FT.	Foot or Feet	STOR.	Storage
FTG.	Footing	STL.	Steel
FURR.	Furring	STRUC.	Structural
FUT.	Future	SUSP.	Suspended
		SYM.	Symmetrical
GA.	Gauge		
GALV.	Galvanized	T.O.C.	Top of Curb
G.B.	Grab Bar	TEL.	Telephone
GL.	Glass	T&G.	Tongue and Groove
G.L.B.	Glue Laminated Beam	THK.	Thick (ness)
GLBLK.	Glass Block	T.O.	Top of
GR.	Grade	TRD.	Tread
G.S.M.	Galv. Sht. Metal	T.V.	Television
G.V.B.	Gypsum Board	TYP.	Typical
HB.	Hose Bib	UNF.	Unfinished
H.C.	Hollow Core	U.O.N.	Unless Otherwise Noted
HD.	Head		
HDW.	Hardware	VERT.	Vertical
HT.	Height	VEST.	Vestibule
H.M.	Hollow Metal	V.I.F.	Verify in Field
HORIZ.	Horizontal		
H.P.	High Point	W/	With
HR.	Hour	W.	Width, Wide
HRDWD.	Hardwood	W.C.	Water Closet
		W.D.	Water Heater
I.D.	Inside Diameter	W.H.	Without
INCL.	Include, (ing), (ed)	W/O	Without
INST.	Instruction	W.P.	Waterproof (ing)
		WT.	Weight
		W.W.F.	Welded Wire Fabric

- THE CURRENT EDITIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES, AS ADOPTED BY THE CITY OF UKIAH SHALL HAVE JURISDICTION AND SHALL BE CONSIDERED PART OF THESE PLANS AND SPECIFICATIONS. SUCH CODES SHALL INCLUDE THE FOLLOWING:
2025 CALIFORNIA RESIDENTIAL CODE & LOCAL AMENDMENTS
2025 CALIFORNIA BLDG. CODE & LOCAL AMENDMENTS
2025 CALIFORNIA MECH. CODE & LOCAL AMENDMENTS
2025 CALIFORNIA PLBG. CODE & LOCAL AMENDMENTS
2025 CALIFORNIA ELEC. CODE & LOCAL AMENDMENTS
2025 CALIFORNIA ENERGY CODE
2025 CALIFORNIA FIRE CODE & LOCAL AMENDMENTS
- ALL DIMENSIONS ARE TO FACE OF FRAMING FOR WALLS; TOP OF SLAB, TOP OF SHEATHING OR BOTTOM OF FRAMING FOR FLOORS, CEILINGS & ROOFS UNLESS OTHERWISE NOTED.
- COORDINATE EXACT LOCATION OF MECHANICAL DUCTS, REGISTERS, FLUES, & VENTS WITH ARCHITECTURAL DRAWINGS.
- INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS & RECOMMENDATIONS OF THE MANUFACTURER & ALL APPLICABLE CODES.
- PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, AND OTHER ITEMS REQUIRING SUPPORT.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- IN THE EVENT OF CONFLICT BETWEEN DATA OR INFORMATION SHOWN ON DRAWINGS, DATA OR INFORMATION SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF LARGER SCALE.
- PLACE AND SECURE ALL ANCHOR BOLTS AND OTHER ITEMS TO BE CAST IN CONCRETE FOR FOUNDATION INSPECTION, WET SETTING ANCHOR BOLTS OR REINFORCING AFTER PLACEMENT OF CONCRETE IS NOT ALLOWED.
- SPECIAL INSPECTIONS ARE REQUIRED FOR STRUCTURAL BOLTING AND WELDING. OFFICIAL OR BUILDING INSPECTOR, SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL, SPECIAL INSPECTOR, AND DESIGN ENGINEER IS SUBJECT TO EXPOSURE OR REMOVAL.
- DEFERRED SUBMITTALS: PLANS FOR FIRE SPRINKLER SYSTEM DESIGN AND HYDRAULIC CALCULATIONS SHALL BE COMPLETED BY A LICENSED C-16 SPRINKLER CONTRACTOR AND SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION. FIRE SPRINKLER SYSTEM DESIGN AND INSTALLATION SHALL CONFORM TO THE PROVISIONS OF THE CITY OF UKIAH FIRE DEPARTMENT AND N.F.P.A. STANDARD 13D CRC. SEC. 313.

PROJECT GENERAL NOTES

TOTAL ALLOWABLE SIGNAGE AREA: *UKIAH MUNICIPAL CODE 3227 A.1
 GOBBI STREET FRONTAGE: 256.25' X 1.5 SQFT. = 384 SQFT.
 STATE STREET FRONTAGE: 269.25' X 1.5 SQFT. = 404 SQFT.
 TOTAL ALLOWABLE: 788 SQFT.

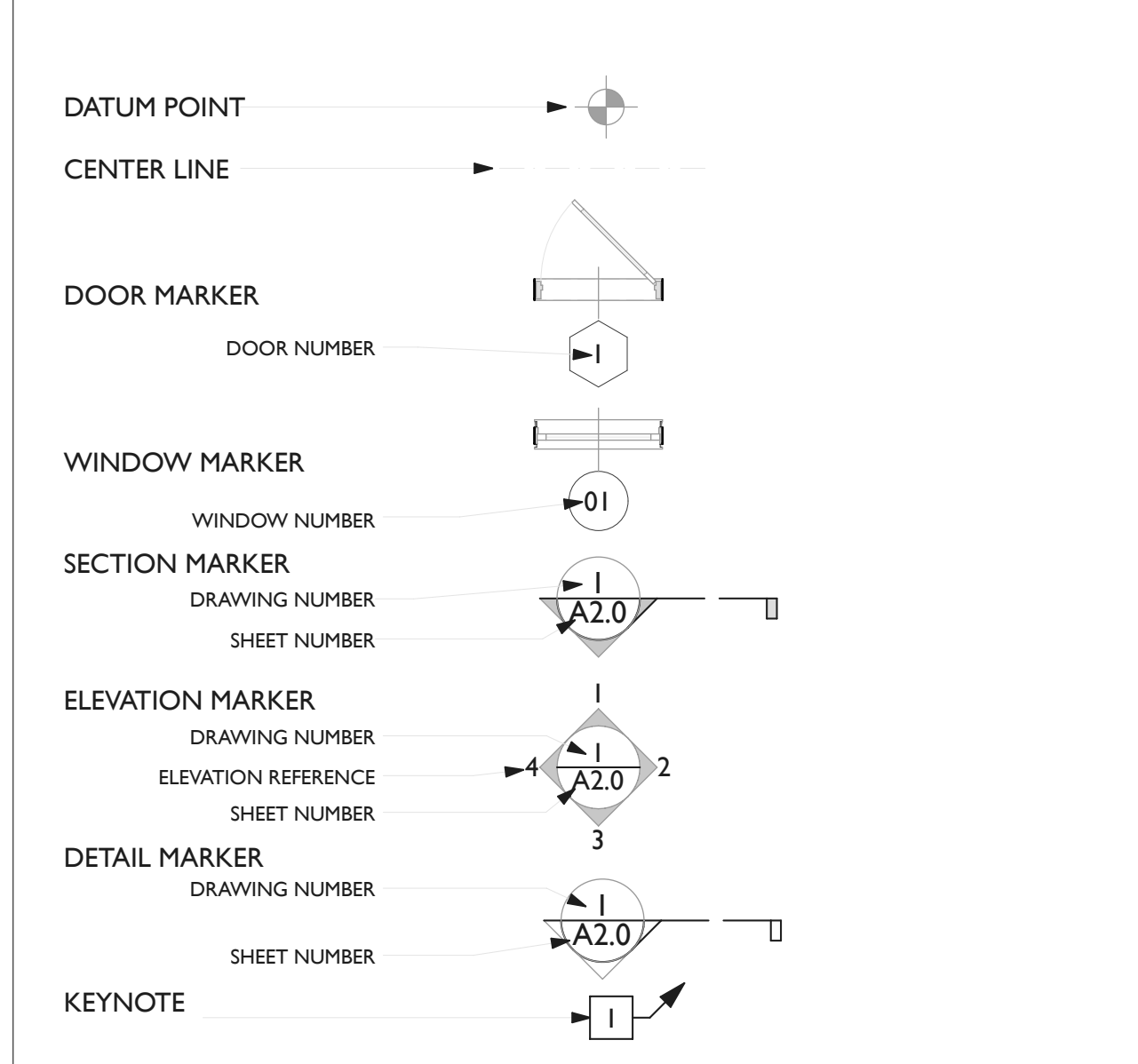
EXISTING BUILDING SIGNAGE (TO BE REMOVED):
 - GOBBI STREET FRONTAGE: 85 SQFT.
 - STATE STREET FRONTAGE: 110 SQFT. (INCLUDES CORNER ENTRY SIGN)
 - TOTAL REMOVED: 195 SQFT.

AREA OF PROPOSED (N) SIGNAGE:
 - GOBBI STREET FRONTAGE: 21 SQFT.
 - STATE STREET FRONTAGE: 148 SQFT. (INCLUDES CORNER ENTRY SIGN)
 - TOTAL PROPOSED: 169 SQFT.

NET REDUCTION IN BUILDING SIGNAGE: -26 SQFT.

MONUMENT SIGNAGE:
 EXISTING MONUMENT SIGNAGE AREA: 6'-0" X 8'-0" = 48 SQFT.
 PROPOSED MONUMENT SIGNAGE: 48 SQFT. (NO CHANGE)

SIGNAGE CALCULATIONS

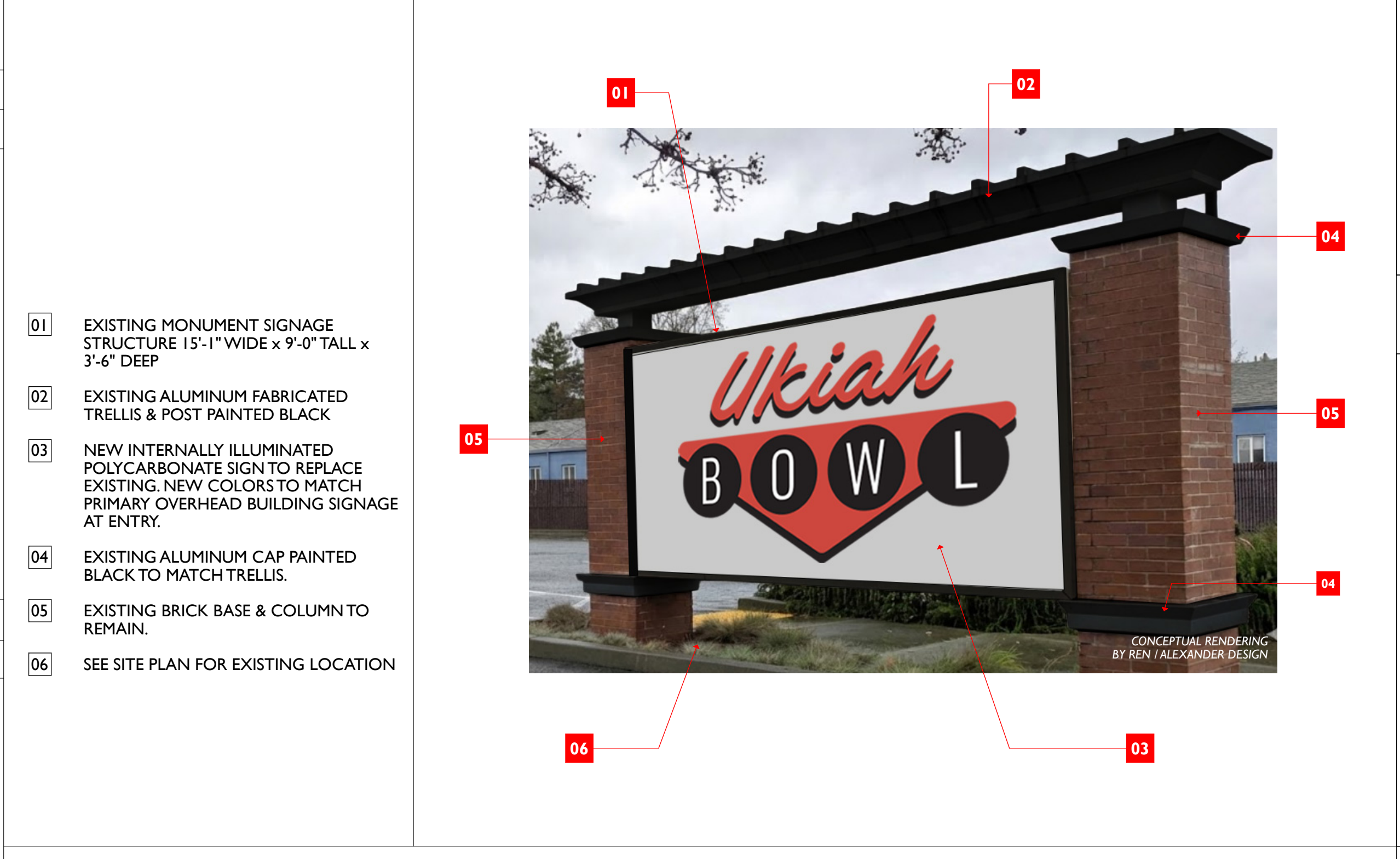


GRAPHIC SYMBOLS

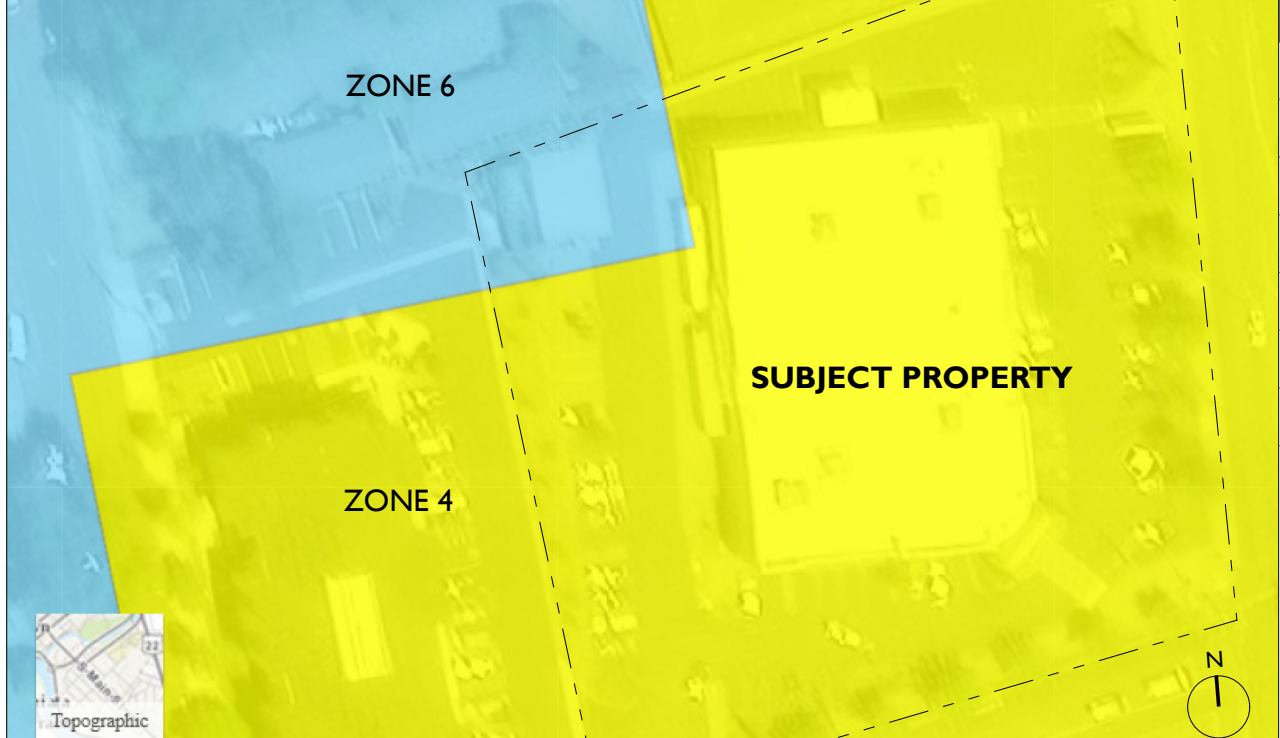


UKIAH BOWL - PRIMARY ENTRY CONCEPTUAL RENDERING

*CORNER OF GOBBI & STATE STREET



MONUMENT SIGNAGE AT STATE STREET



AIRPORT ZONE OVERLAY

ID	NAME
PLN-1	PLANNING REVIEW COVER SHEET
PLN-2	PROPOSED SITE PLAN & PARKING CALCULATIONS
PLN-3	EXTERIOR ELEVATION CONCEPTUAL RENDERINGS
PLN-4	EXISTING & DEMOLITION FLOOR PLAN
PLN-5	PROPOSED FLOOR PLAN & OCCUPANCY CALCULATIONS
PLN-6	EXTERIOR ELEVATIONS
PLN-7	EXTERIOR ELEVATIONS

SHEET INDEX

THE PROJECT CONSISTS OF AN ADAPTIVE RE-USE TENANT-IMPROVEMENT REMODEL OF AN EXISTING 17,479 SQUARE FOOT COMMERCIAL BUILDING OF TYPE V-N CONSTRUCTION ON THE CORNER OF GOBBI STREET AND STATE STREET IN THE CITY OF UKIAH. THE EXISTING BUILDING WILL BE CONVERTED FROM A (MERCANTILE) PHARMACY TO A MIXED-USE RECREATION AND DINING ESTABLISHMENT WITH 12 BOWLING LANES, EXTERIOR IMPROVEMENTS INCLUDE ADDITIONAL PARKING SPACES, PATH OF TRAVEL UPGRADES AND ONE ADDITIONAL EXIT. NEW ILLUMINATED SIGNAGE IS PROPOSED AT THE PRIMARY BUILDING ENTRY AND STREET FRONTAGE.

PROJECT DESCRIPTION

AUTHORITY HAVING JURISDICTION (AHJ):	CITY OF UKIAH
ASSESSORS PARCEL NUMBER:	002-301-54
AREA OF EXISTING (E) BUILDING:	17,479 SQFT.
AREA OF PROPOSED (N) BUILDING:	17,479 SQFT. (NO CHANGE)
ORIGINAL CONSTRUCTION DATE:	2008 - COMPLETED
LOT AREA:	1.66 ACRES ACRES
OCCUPANCY GROUP:	A-3, A-2, S-2 (ASSEMBLY & STORAGE)
CONSTRUCTION TYPE:	V-N SPRINKLERED
ZONING:	C1 - COMMERCIAL
FIRE PROTECTION ZONE:	LOCAL, NON-WUI
UKIAH AIRPORT OVERLAY ZONE: (UKIAH ALUC)	95% ZONE 4 5% ZONE 6
SITE INTENSITY MAX LIMIT:	*450 OCCUPANTS (ZONE 4)
PROPOSED SITE INTENSITY:	*1.66 ACRES X (150 OCCUPANTS / ACRE) = 249 OCCUPANTS
* PER TABLE 3A UKIAH ALUC	
MAX. (PEAK) SITE USAGE:	248 OCCUPANTS (SEE OCCUPANCY CALCULATIONS)
PARKING:	SEE PARKING CALCULATIONS ON SITE PLAN SHEET PLN-2
EXISTING ADA PARKING:	3 SPACES - SEE SHEET PLN-2

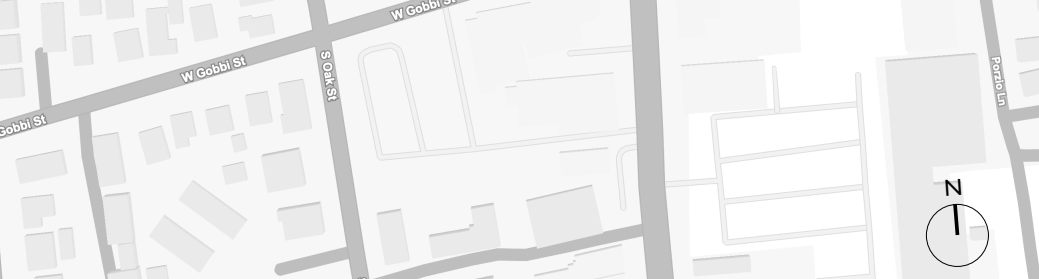
PROJECT DATA

OWNER:
 STEPHEN DELUCIA
 UKIAH BOWL, LLC.
 3225 DEERWOOD DRIVE
 UKIAH, CA 95482
 (707) 600-8393
 STEVE@UKIAHBOWL.COM

ARCHITECT:
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 108 PETALUMA AVENUE
 SEBASTOPOLE, CA 95472
 (707) 823-9899
 LARS@LARSARCHITECTS.COM
 STEVEN@LARSARCHITECTS.COM

BRAND & SIGNAGE DESIGN:
 REN / ALEXANDER DESIGN
 301 SCOTT STREET
 UKIAH, CA 95482
 (415) 859-8196
 KALI@RENALEXANDER.COM

PROJECT TEAM



VICINITY MAP

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 707.823.9899

UKIAH BOWL
 680 S. STATE STREET
 UKIAH, CA 95482

APN: 002-301-54

ISSUED FOR:

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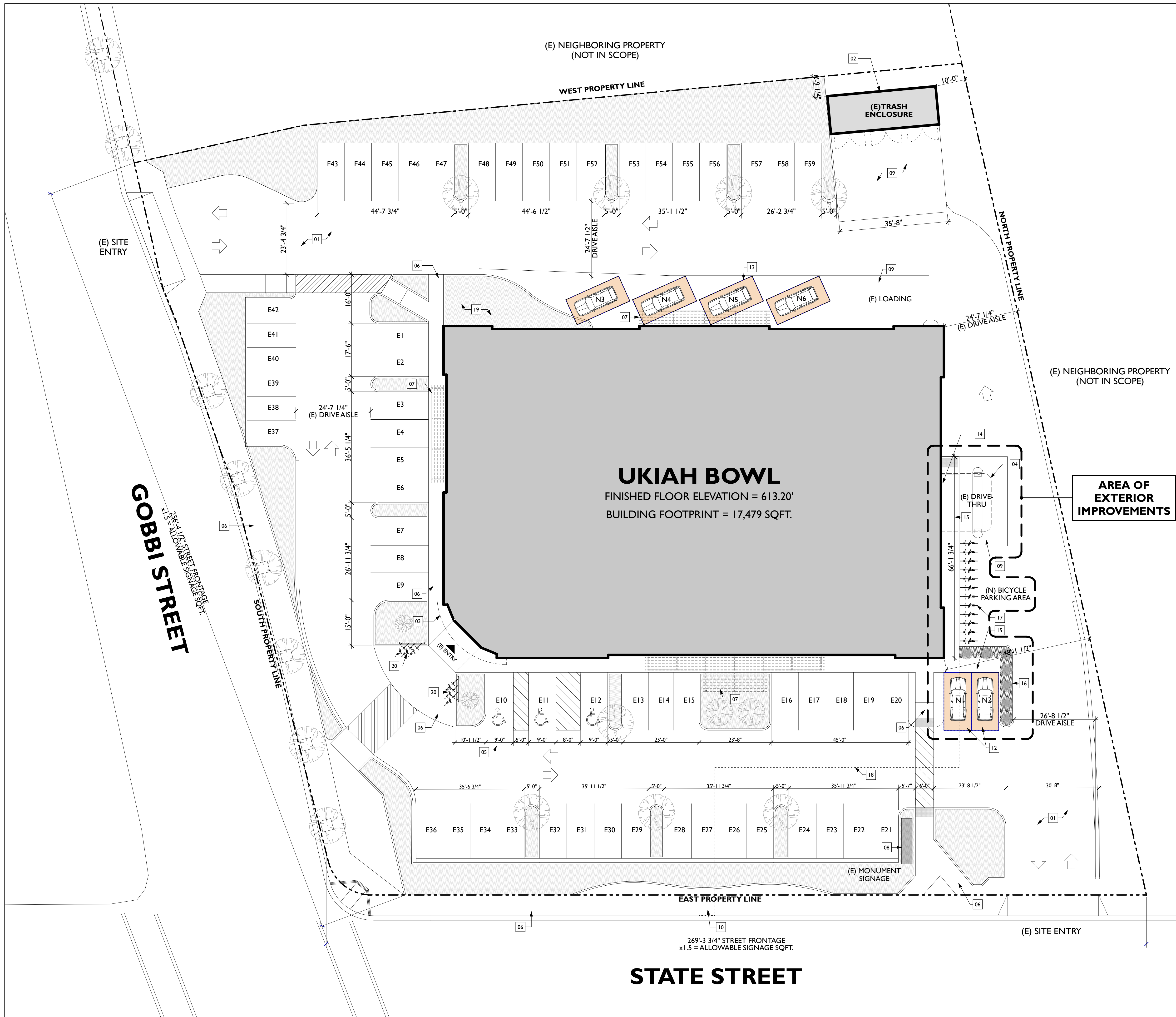
FOR PLANNING REVIEW ONLY

PLANNING REVIEW COVER SHEET

DATE: April 27, 2026

SCALE: AS NOTED

PLN-1



1 SITE PLAN
SCALE: 1" = 15'-0"

- EXISTING LANDSCAPING AREAS TO REMAIN
- EXISTING SITE LIGHTING TO REMAIN
- ALL EXISTING BUILDING SIGNAGE TO BE REMOVED
- EXISTING WAY-FINDING SIGNAGE TO BE REMOVED
- EXISTING CROSS-WALKS AND DETECTABLE WARNING STRIPS TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS
- EXISTING VEHICULAR AND PEDESTRIAN SITE ENTRY LOCATIONS TO REMAIN
- SEE TITLE SHEET FOR EXISTING SITE AREA

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Ukiah BOWL

SHEET GENERAL NOTES

- EXISTING 2-WAY DRIVE AISLE TO REMAIN (NO CHANGE)
- EXISTING TRASH ENCLOSURE TO REMAIN (NO CHANGE)
- EXISTING METAL ENTRY CANOPY (DASHED) TO REMAIN. REMOVE EXISTING SIGNAGE. REPAINT FASCIA. REPLACE EXISTING SOFFIT WITH WOOD OR WOOD LOOK MATERIAL (SEE EXTERIOR CONCEPTUAL RENDERINGS)
- EXISTING DRIVE-THRU CANOPY TO REMAIN. REPAINT TO MATCH ENTRY CANOPY. REPLACE EXISTING CEILING WITH WOOD OR WOOD-LOOK MATERIAL (SEE EXTERIOR CONCEPTUAL RENDERINGS)
- EXISTING ACCESSIBLE PARKING SPACES (X3) TO REMAIN. SEE PARKING CALCULATIONS
- EXISTING CONCRETE WALKWAY TO REMAIN (NO CHANGE)
- EXISTING PAINTED METAL TRELLIS(ES) TO REMAIN (NO CHANGE)
- EXISTING MONUMENT SIGNAGE AT STATE STREET TO REMAIN. REPLACE EXISTING SIGNAGE WITH NEW. SEE EXTERIOR CONCEPTUAL RENDERINGS PAGE
- EXISTING CONCRETE SURFACE(S) TO REMAIN
- ROUGH LOCATION OF EXISTING SEWER INVERT - NOT USED -
- PROPOSED ADDITIONAL VEHICLE PARKING SPACES (PERPENDICULAR)
- PROPOSED ADDITIONAL VEHICLE PARKING SPACE(S) (ANGLED)
- PROPOSED EXIT AT EXISTING DRIVE-THRU AREA
- PROPOSED CONCRETE WALKWAY TO NEW EXIT LOCATION
- PROPOSED PLANTED LANDSCAPE AREA & CONCRETE CURB TO MATCH EXISTING
- PROPOSED BICYCLE PARKING STALLS (12X SPACES)
- ROUGH AREA OF TRENCHING & SITE WORK FOR PROPOSED SEWER LATERAL REPLACEMENT & UPGRADES (SHOWN DASHED)
- ROUGH AREA OF TRENCHING & SITE WORK FOR PROPOSED GREASE-INTERCEPTOR WORK. FINAL SPECS TBD.
- PROPOSED ADDITIONAL BICYCLE PARKING (6X TOTAL SPACES)

UKIAH BOWL
680 S. STATE STREET
UKIAH, CA 95482

APN: 002-301-54

ISSUED FOR:

USE PERMIT 04/27/2026

KEYNOTES

UKIAH ZONING CODE 9198
NUMBER OF PARKING SPACES REQUIRED

COMMERCIAL RECREATION & PUBLIC ASSEMBLY 1:4 GENERAL
SITEWIDE MAX OCCUPANCY: 248 / 4 = 62

REQUIRED PARKING

AUTO STALLS	62
BIKE PARKING	6 (EXISTING)
ADA STALLS REQUIRED	3 (EXISTING)
NON-MALL LOADING	1

EXISTING PARKING

AUTO STALLS:	59
BIKE PARKING:	6
ADA STALLS:	3
NON-MALL LOADING:	1

PARKING DELTAS

AUTO STALLS	-3
BIKE PARKING	0
ADA STALLS REQUIRED	0
NON-MALL LOADING	0

PROPOSED ADDITIONAL PARKING

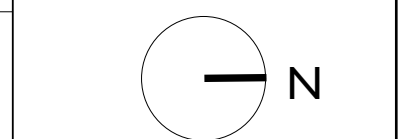
AUTO STALLS:	+4 NEW ANGLED STALLS
	+ 2 NEW 90 DEGREE STALLS
ADA STALLS:	0 (EXISTING TO REMAIN)
NON-MALL LOADING:	0 (EXISTING TO REMAIN)
BIKE PARKING:	+12 NEW SPACES
*BIKE PARKING MITIGATION:	6 BIKES = (-2 AUTO STALLS REQUIRED)

PARKING TOTALS

FINAL REQUIRED AUTO STALLS:	61
FINAL PROVIDED AUTO STALLS:	65
FINAL PROVIDED BIKE PARKING:	18

PARKING CALCULATIONS

FOR PLANNING REVIEW ONLY



PROPOSED SITE PLAN & PARKING CALCULATIONS

DATE: April 27, 2026

SCALE: AS NOTED

PLN-2



5 NEON-LOOK PRIMARY SIGNAGE (CORNER OF GOBBI & STATE STREET)



2 UKIAH BOWL - PRIMARY BUILDING SIGNAGE: NIGHT TIMEVIEW (CORNER OF GOBBI & STATE STREET)

- 01 PRIMARY BUILDING SIGNAGE: 15'-0" WIDE CURVE X 8'-6" TALL X 8" DEEP = 127 SQFT.
- 02 SECONDARY BUILDING SIGNAGE AT STATE STREET AND GOBBI STREET FRONTAGE (18" TALL WHITE LETTERING - ILLUMINATED)
- 03 WOOD SLATS AT INTERIOR: FINAL SPECIFICATIONS TBD.
- 04 REPAINTED ENTRY CANOPY WITH NEW WOOD-LOOK SOFFIT OVER ENTRY



1 UKIAH BOWL - PRIMARY BUILDING SIGNAGE: DAY TIMEVIEW (CORNER OF GOBBI & STATE STREET)

- 01 PRIMARY BUILDING SIGNAGE: 15'-0" WIDE CURVE X 8'-6" TALL X 8" DEEP = 127 SQFT. (ILLUMINATED)
- 02 SECONDARY BUILDING SIGNAGE AT STATE STREET AND GOBBI STREET FRONTAGE (18" TALL WHITE LETTERING - ILLUMINATED)
- 03 WOOD SLATS AT INTERIOR: FINAL SPECIFICATIONS TBD.
- 04 REPAINTED ENTRY CANOPY WITH NEW WOOD-LOOK SOFFIT OVER ENTRY



3 UKIAH BOWL - EAST ELEVATION & DRIVE-THRU CANOPY AREA (FACING STATE STREET)

- 01 AREA OF SITE IMPROVEMENTS - 2 NEW PARKING SPACES & LOW PLANTED LANDSCAPE STRIP (SEE PLN-2)
- 02 REPAINTED DRIVE-THRU CANOPY WITH NEW WOOD-LOOK SOFFIT.
- 03 EXISTING CANOPY LIGHTING TO REMAIN
- 04 PAINTED MURAL AREA ± 8'-0" X 8'-0" = 64 SQFT. FINAL ARTWORK TBD



4 UKIAH BOWL - SOUTH ELEVATION (FACING GOBBI STREET)

- 01 PRIMARY BUILDING SIGNAGE: SEE RENDERING #1 (ILLUMINATED)
- 02 SECONDARY BUILDING SIGNAGE (18" TALL WHITE LETTERING - ILLUMINATED)
- 03 WOOD SLATS AT INTERIOR
- 04 REPAINTED ENTRY CANOPY WITH NEW WOOD-LOOK SOFFIT OVER ENTRY
- 05 PAINTED MURAL AREA ± 8'-0" X 8'-0" = 64 SQFT. FINAL ARTWORK TBD



UKIAH BOWL
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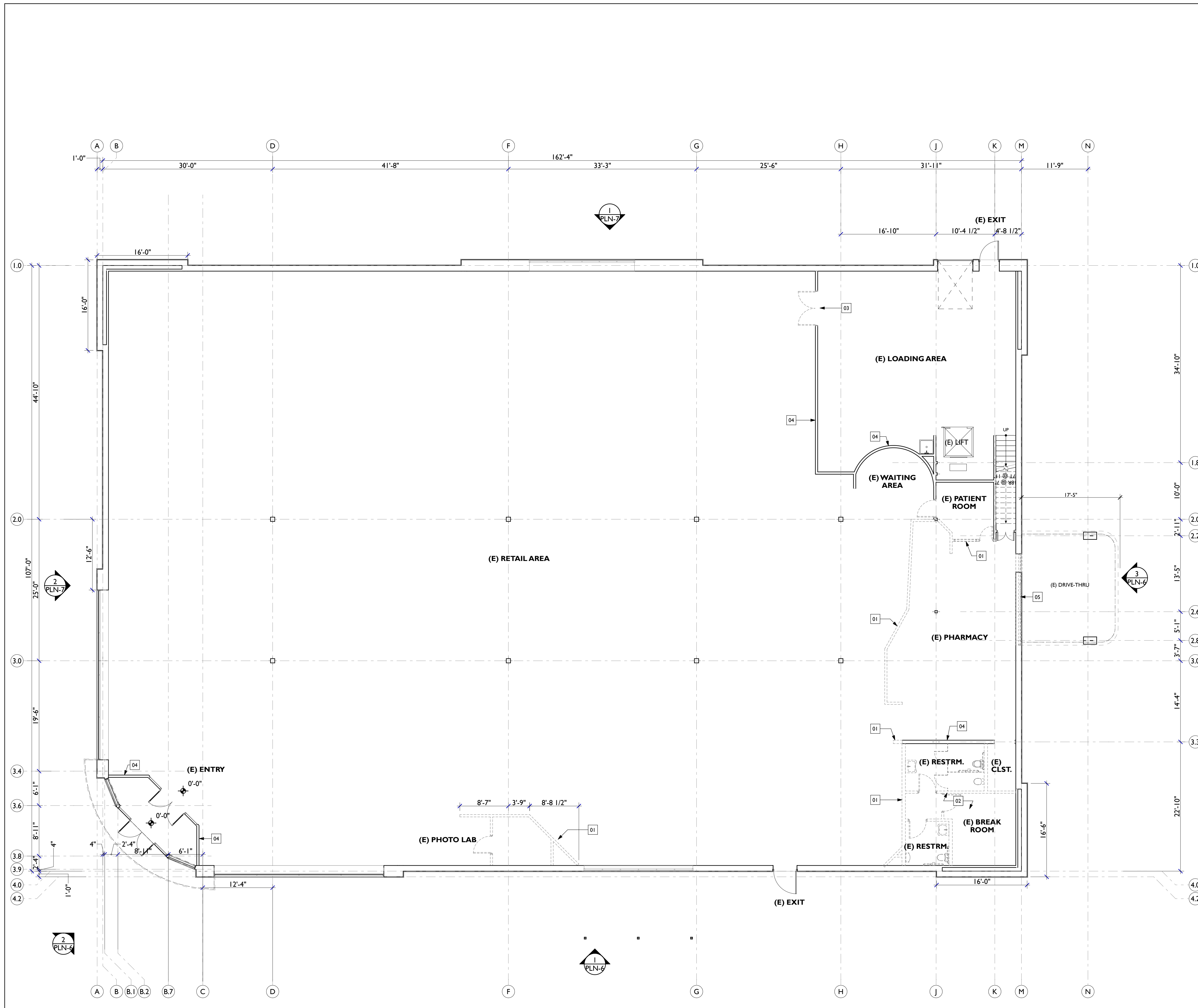
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EXTERIOR ELEVATION CONCEPTUAL RENDERINGS

DATE: April 27, 2026

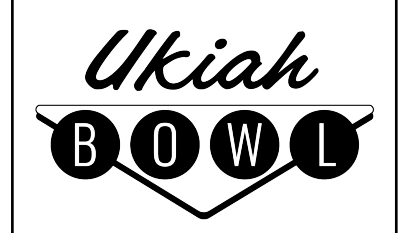
SCALE: AS NOTED

PLN-3



1. DEMOLISH & REMOVE ALL EXISTING RETAIL FLOOR CABINETRY & MILLWORK UNLESS OTHERWISE SPECIFIED ON PLANS.
2. DEMOLISH & REMOVE EXISTING FLOOR FINISHES AT RETAIL AREA UNLESS OTHERWISE INDICATED ON PLANS.
3. EXISTING STRUCTURAL COLUMNS, BEAMS, WALLS TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS.
4. EXISTING BUILDING ENVELOPE, MATERIALS WINDOWS AND DOORS TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS.

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SHEET GENERAL NOTES

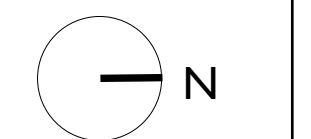
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ISSUED FOR:

USE PERMIT	04/27/2026
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- 01 DEMOLISH & REMOVE EXISTING WALL
- 02 DEMOLISH & REMOVE EXISTING FIXTURES, FITTINGS & EQUIPMENT. CUT AND CAP UTILITIES. PREPARE AREA FOR NEW WORK
- 03 REMOVE EXISTING DOOR; SAVE ON-SITE FOR RE-USE.
- 04 EXISTING WALL TO REMAIN; PREPARE AREA FOR NEW WORK.
- 05 DEMOLISH & REMOVE EXISTING STOREFRONT WINDOW. PREPARE AREA FOR NEW WORK.

EXISTING & DEMOLITION FLOOR PLAN

DATE: April 27, 2026

SCALE: AS NOTED

KEYNOTES

I FIRST FLOOR - EXISTING & DEMOLITION PLAN
 1/8" = 1'-0"

PLN-4

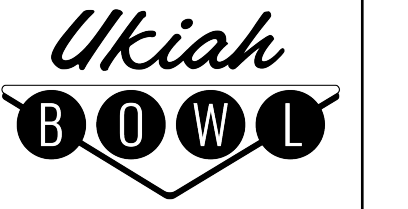
LEGEND	ROOM	TYPE	OCC. LOAD FACTOR	AREA	OCCUPANTS
	BOWLING AREA	BOWLING CENTER	5 PER LANE	12 LANES	60
	GAMES AREA	ASSEMBLY W/O FIXED SEATS	15 NET / PERSON	708 SQFT.	47
	DINING AREA	ASSEMBLY W/O FIXED SEATS	15 NET / PERSON	511 SQFT.	34
	SHOE RENTAL / SNACK BAR / CHECK-IN	BUSINESS AREA	150 GROSS	319 SQFT.	3
	KITCHEN	COMMERCIAL KITCHEN	200 GROSS	450 SQFT.	3
	TODDLER PLAY AREA	ASSEMBLY W/O FIXED SEATS	15 NET / PERSON	297 SQFT.	20
	PARTY ROOM 1	ASSEMBLY W/O FIXED SEATS	15 NET / PERSON	275 SQFT.	19
	PARTY ROOM 2	ASSEMBLY W/O FIXED SEATS	15 NET / PERSON	127 SQFT.	9
	KARAOKE ROOM	ASSEMBLY W/O FIXED SEATS	15 NET / PERSON	291 SQFT.	20
	FIXED SEATING	CBC 1000.4 FIXED SEATING REQ'S.	26 SEATS TOTAL	—	26
	(E) LOADING & (E) OFFICE	ACCESSORY STORAGE AREAS	300 GROSS	1,250 SQFT.	5
	(E) MEZZANINE STORAGE	ACCESSORY STORAGE AREAS	300 GROSS	546 SQFT.	2
	CIRCULATION & ACCESSORY USE AREAS	CIRCULATION & ACCESSORY USE	—	—	—
				TOTAL	248

2 OCCUPANCY CALCULATIONS
*PER CBC TABLE 1000.4

GENERAL EGRESS NOTES (CBC CHAPTER 10)

- MEANS OF EGRESS COMPLIANCE: ALL MEANS OF EGRESS COMPONENTS, INCLUDING EXIT ACCESS, EXITS, AND EXIT DISCHARGE, SHALL COMPLY WITH THE REQUIREMENTS OF CBC CHAPTER 10.
- MINIMUM NUMBER OF EXITS EACH OCCUPIED SPACE AND STORY SHALL BE PROVIDED WITH THE MINIMUM NUMBER OF EXITS AS REQUIRED BY CBC SECTIONS 1006.2 AND 1006.3 BASED ON OCCUPANT LOAD AND OCCUPANCY CLASSIFICATION.
- EGRESS WIDTH: THE REQUIRED EGRESS WIDTH SHALL BE DETERMINED IN ACCORDANCE WITH CBC SECTION 1005, BASED ON OCCUPANT LOAD AND THE APPLICABLE EGRESS CAPACITY FACTORS.
- DOOR SWING DIRECTION: EGRESS DOORS SERVING AN OCCUPANT LOAD OF 50 OR MORE SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL PER CBC SECTION 1010.1.2.
- DOOR HARDWARE: EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, IN ACCORDANCE WITH CBC SECTION 1010.1.9.
- TRAVEL DISTANCE: EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LIMITS SPECIFIED IN CBC TABLE 1017.2, BASED ON OCCUPANCY AND SPRINKLER STATUS.
- COMMON PATH OF EGRESS TRAVEL: THE COMMON PATH OF EGRESS TRAVEL SHALL COMPLY WITH CBC SECTION 1006.2.1 AND SHALL NOT EXCEED ALLOWABLE LIMITS FOR THE OCCUPANCY CLASSIFICATION.
- EXIT SEPARATION: WHERE TWO OR MORE EXITS ARE REQUIRED, THEY SHALL BE PLACED AT A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF THE DIAGONAL OF THE AREA SERVED (OR ONE-THIRD IF SPRINKLERED), PER CBC SECTION 1007.1.1.
- EXIT SIGNAGE AND ILLUMINATION: EXITS SHALL BE PROVIDED WITH ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING IN ACCORDANCE WITH CBC SECTIONS 1013 AND 1008.
- ACCESSIBLE MEANS OF EGRESS: ACCESSIBLE MEANS OF EGRESS SHALL BE PROVIDED IN ACCORDANCE WITH CBC SECTION 1009, INCLUDING AREAS OF REFUGE WHERE REQUIRED.

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SHEET GENERAL NOTES

AREAS	SEE TABLE
OCCUPANCY / USE:	17,479 SQ FT
TOTAL FLOOR AREA:	248
OCC. LOAD:	2 ³
EXITS REQ'D:	3
EXITS PROVIDED:	1
STAFF EXIT ONLY:	(0.2" x 248) = 49.6" = 4'-10"
MIN. REQ'D. EGRESS WIDTH:	6'-0" + 4'-6" + 3'-0" = 13'-6"
EGRESS WIDTH PROVIDED:	YES
CODE COMPLIANT:	YES
TRAVEL DISTANCE	
MAX. DIAGONAL DISTANCE	192'-1 3/4"
1/2 MAX. DIAGONAL	96'-1"
ACTUAL EXIT SEPARATION	113'-0"
MAX. EXIT ACCESS LENGTH	250'-0" ⁴
CODE COMPLIANT:	YES
¹ OCCUPANT LOAD PER CBC TABLE 1004.1.2	
² MIN. REQ'D. EGRESS WIDTH PER 1005.3	
³ MIN. REQ'D. EXITS PER 1006.3.3	
⁴ MAX. TRAVEL DISTANCE PER CBC 1017.2	

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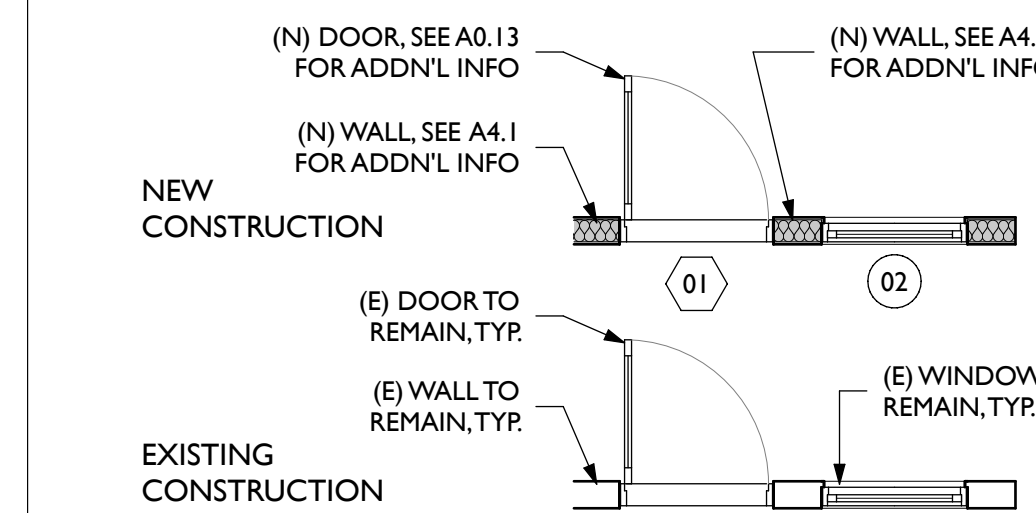
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EGRESS CALCULATIONS

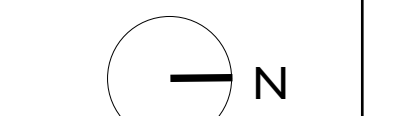
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WALL LEGEND

EGRESS ROUTE OF TRAVEL, TYP. --- →

ROUTE OF TRAVEL LEGEND



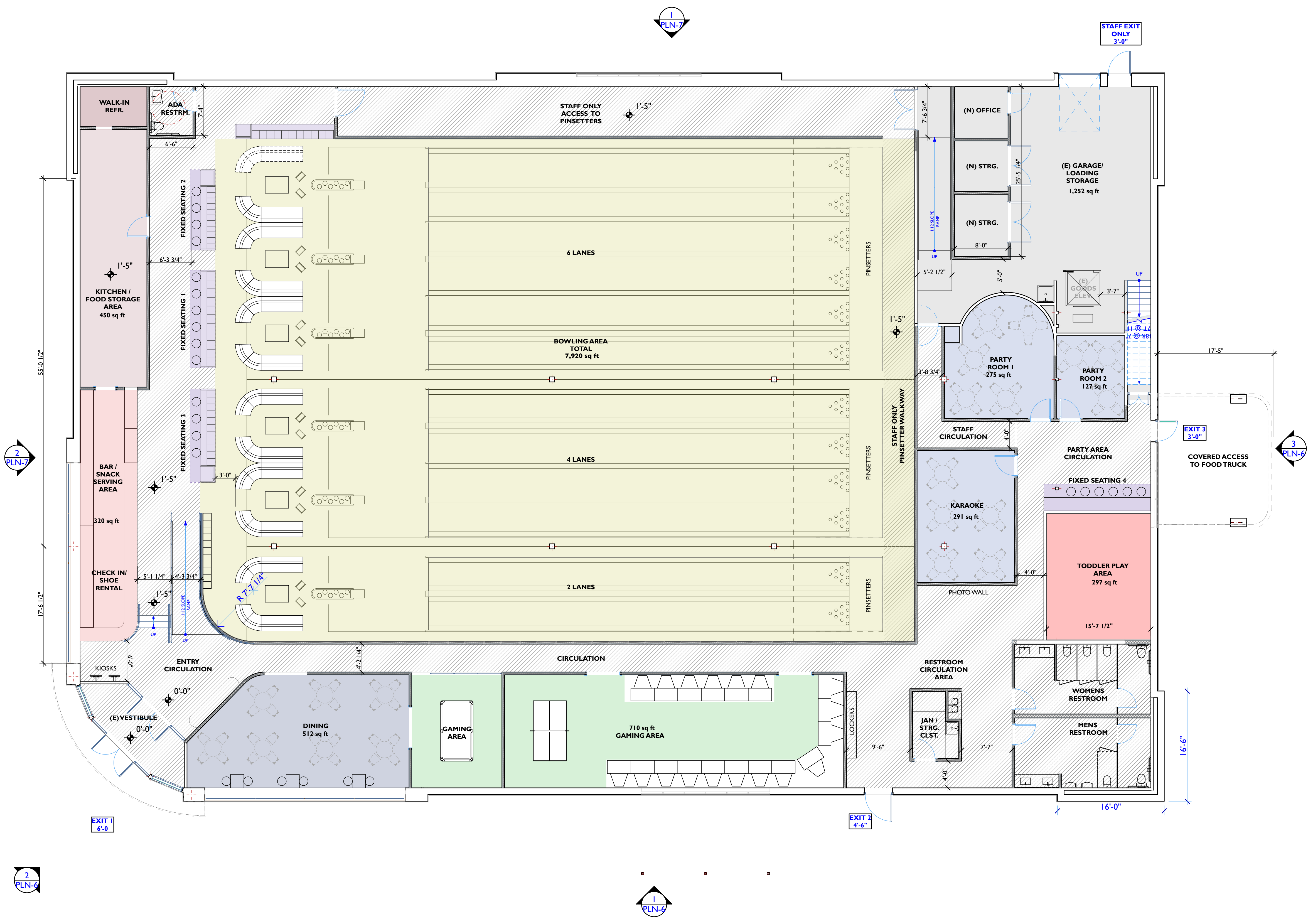
PROPOSED FLOOR PLAN & OCCUPANCY CALCULATIONS

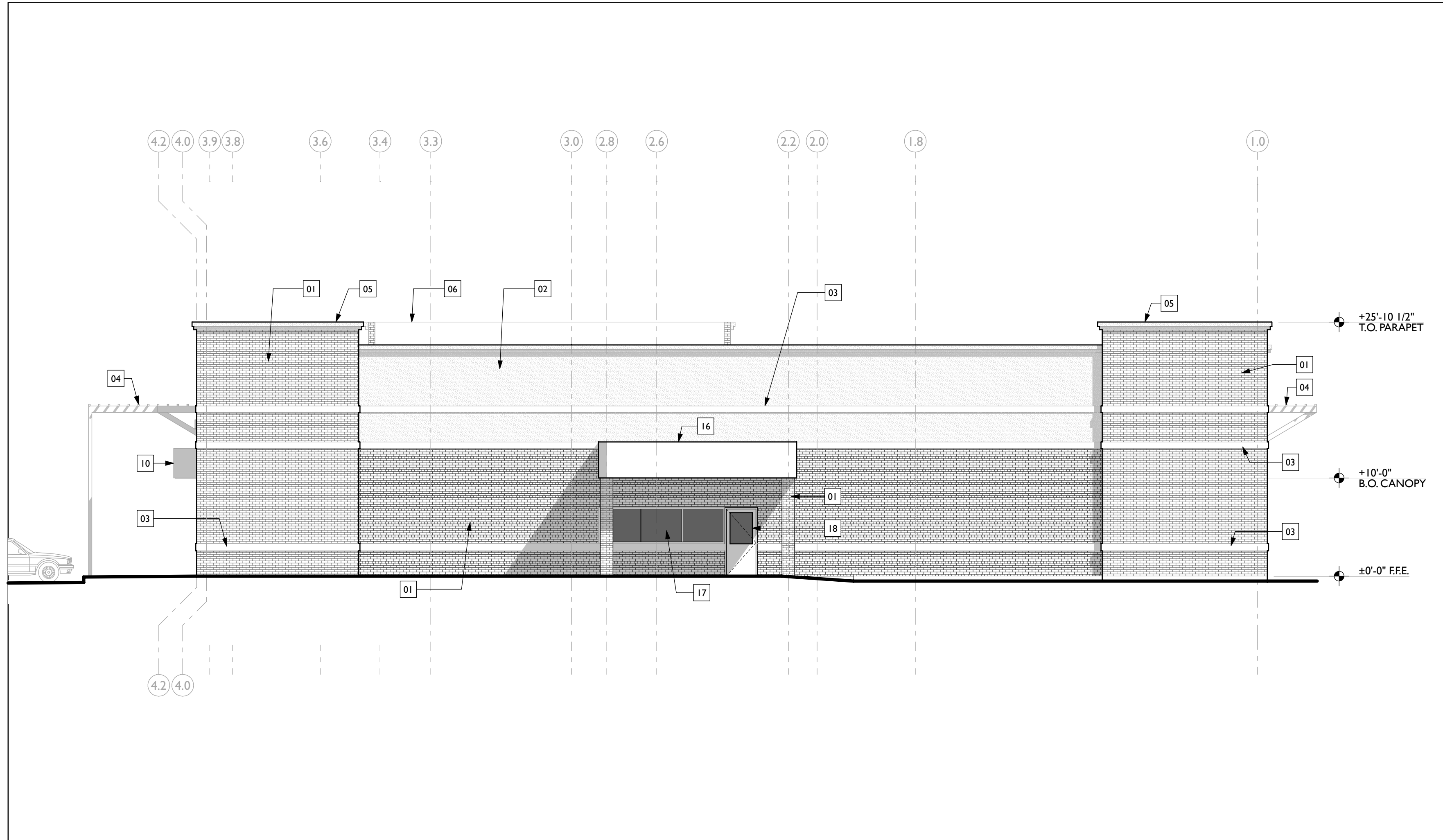
DATE: April 27, 2026

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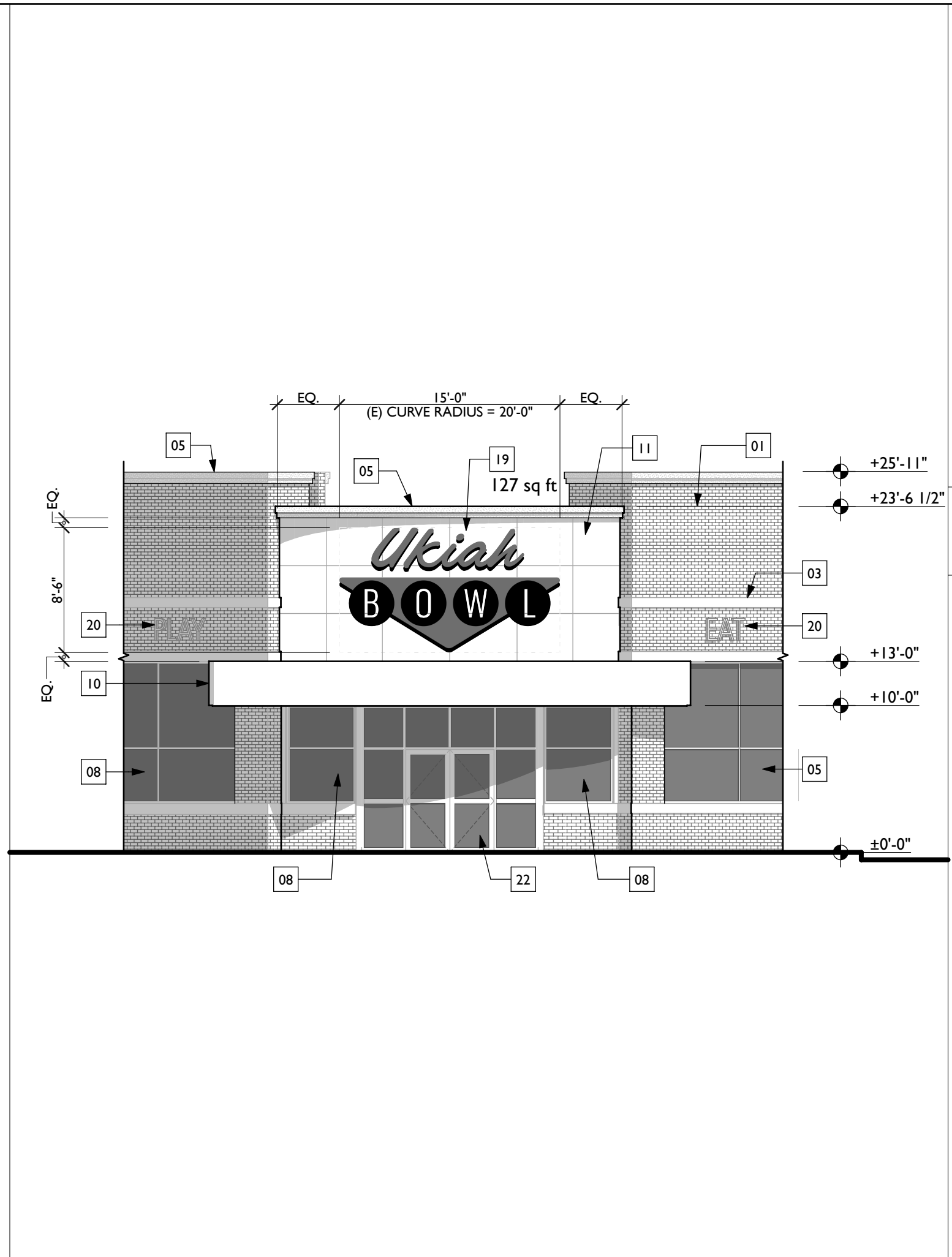
PLN-5

1 PROPOSED OCCUPANCY FLOOR PLAN
1/8" = 1'-0"

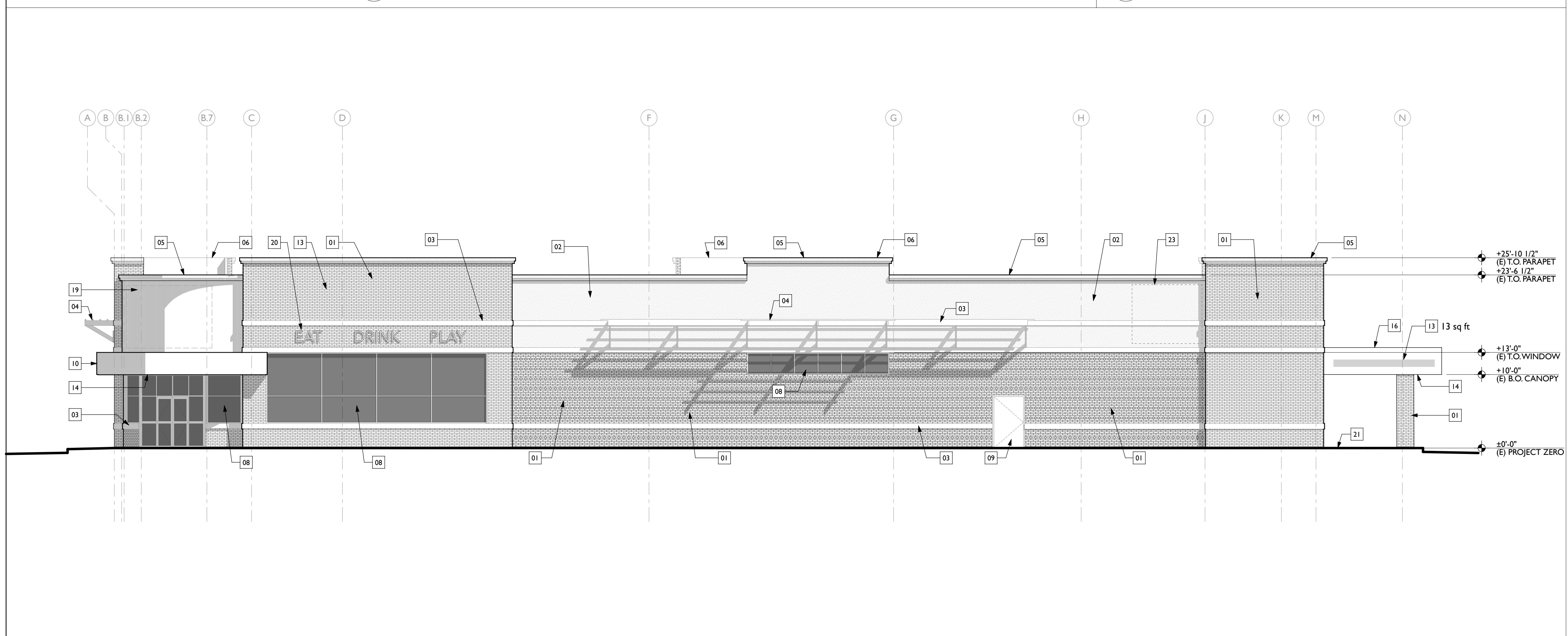




3 NORTH ELEVATION
1/8" = 1'-0"



2 ENTRY ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION (FACING STATE STREET)
1/8" = 1'-0"

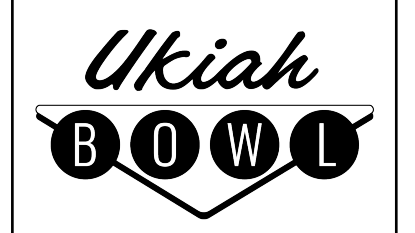
1. EXISTING LANDSCAPING AREAS TO REMAIN
2. EXISTING SITE LIGHTING TO REMAIN
3. REMOVE ALL EXISTING BUILDING SIGNAGE (SEE SIGNAGE CALCULATIONS).
4. REMOVE EXISTING WAY-FINDING SIGNAGE
5. EXISTING CROSS-WALKS AND DETECTABLE WARNING STRIPS TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS
6. EXISTING VEHICULAR AND PEDESTRIAN SITE ENTRY LOCATIONS TO REMAIN
7. EXISTING EXTERIOR PAINT COLORS, FINISHES AND MATERIALS TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS.
8. ALLOWABLE SIGNAGE AREA = PROPERTY LINE STREET FRONTAGE X 1.5 PER UKIAH MUNICIPAL CODE

SHEET GENERAL NOTES

- 01 EXISTING BRICK MASONRY BLOCK TO REMAIN (NO CHANGE)
- 02 EXISTING STUCCO TO REMAIN (NO CHANGE)
- 03 EXISTING STUCCO COVERED FOAM MOLDING TRIM TO REMAIN (NO CHANGE)
- 04 EXISTING METAL TRELLIS TO REMAIN (NO CHANGE)
- 05 EXISTING STUCCO PARAPET CAP MOULDING TO REMAIN (NO CHANGE)
- 06 LINE OF EXISTING PARAPET BEYOND (NO CHANGE)
- 07 EXISTING WALL PACK LIGHTING TO REMAIN (NO CHANGE)
- 08 EXISTING STOREFRONT WINDOW(S) TO REMAIN - NO CHANGE
- 09 EXISTING DOOR(S) TO REMAIN - NO CHANGE
- 10 EXISTING ENTRY CANOPY TO REMAIN. REMOVE EXISTING SIGNAGE & REPAINT.
- 11 EXISTING PAINTED CURVED METAL PANEL AT PRIMARY ENTRY TO REMAIN.
- 12 EXISTING LANDSCAPING / PLANTING TO REMAIN (NO CHANGE)
- 13 EXISTING SIGNAGE TO BE REMOVED
- 14 REPLACE EXISTING SOFFIT WITH WOOD OR WOOD-LOOK MATERIAL (SEE EXTERIOR CONCEPTUAL RENDERINGS)
- 15 EXISTING BOLLARD(S) TO REMAIN UNLESS OTHERWISE INDICATED ON PLANS
- 16 REPAIR EXISTING DRIVE-THRU CANOPY.
- 17 NEW STOREFRONT WINDOW SYSTEM; REPLACE EXISTING IN KIND
- 18 NEW EXIT / EGRESS DOOR
- 19 NEW PROPOSED ILLUMINATED SIGNAGE - FORMAL SIGNAGE PACKAGE WILL BE UNDER SEPARATE PERMIT AND SUBMITTED AT TIME OF BUILDING PERMIT
- 20 NEW PROPOSED SECONDARY SIGNAGE (NON-ILLUMINATED) - FORMAL SIGNAGE PACKAGE WILL BE UNDER SEPARATE PERMIT AND SUBMITTED AT TIME OF BUILDING PERMIT
- 21 AREA OF NEW SITE CONCRETE WALKWAY AND LANDSCAPE WORK.
- 22 REPLACE EXISTING AUTOMATIC ENTRY DOORS IN KIND.
- 23 PROPOSED PAINTED MURAL AREA - 8'-0" X 8'-0". FINAL ARTWORK TBD AND UNDER SEPARATE PERMIT.

KEYNOTES

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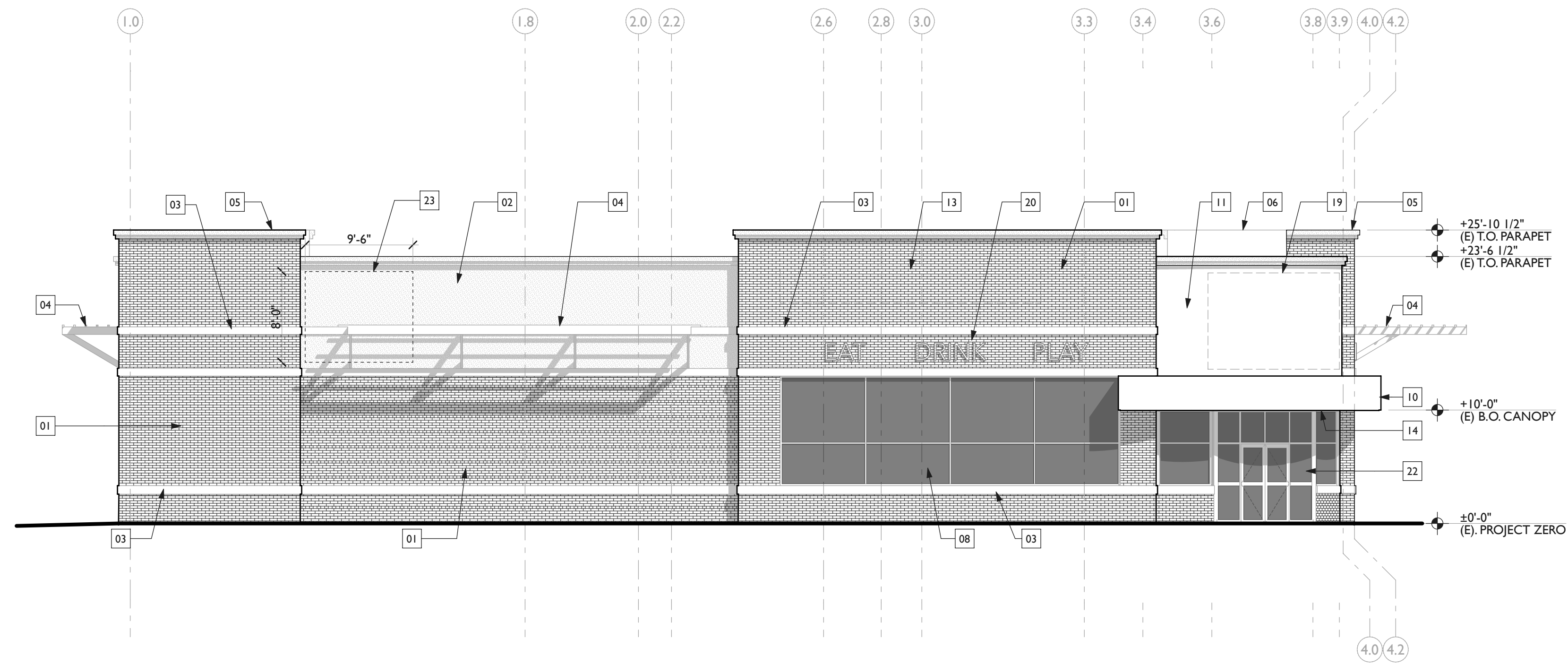
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EXTERIOR ELEVATIONS

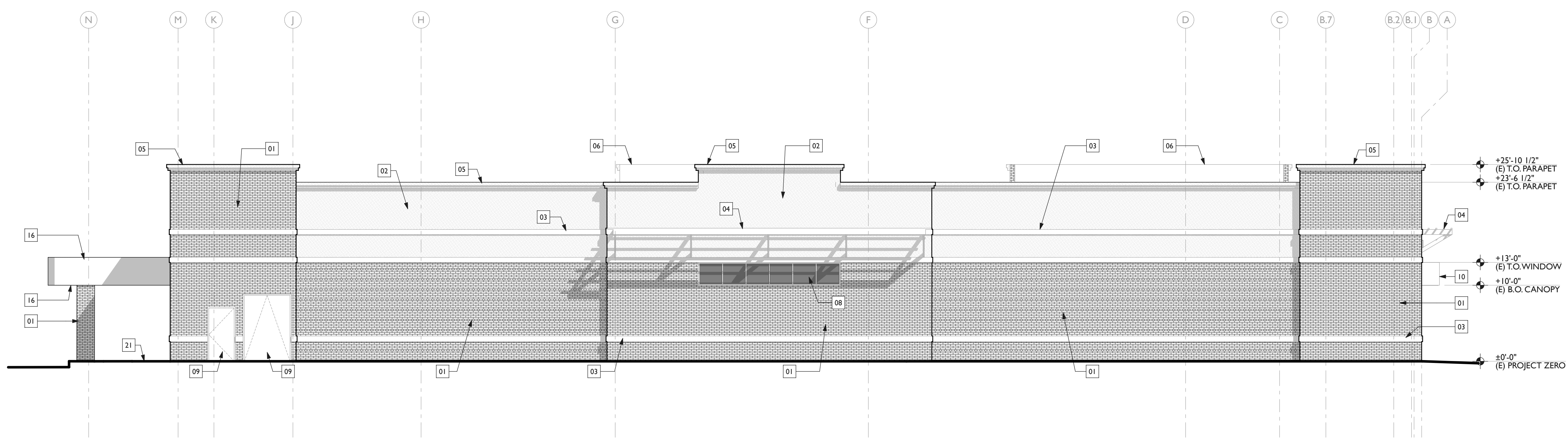
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PLN-6



2 SOUTH ELEVATION (FACING GOBBI STREET)
1/8" = 1'-0"



1 WEST (REAR) ELEVATION
1/8" = 1'-0"

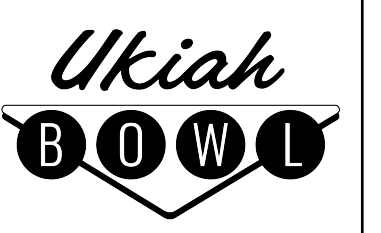
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