

October 17, 2025

Jesse Davis, AICP

Department of Community Development
300 Seminary Avenue
Ukiah, CA 95482

Re: Project Name: MCHC Urgent Care and Administration Building; Major Use Permit
 Project Address: 1240 Airport Park Boulevard
 Permit No.: PA25-000019
 Project No.: 25-001114

The attached drawings have been corrected per the first submission Plan Check comments from the Department of Community Development, Ukiah. All comments and revisions have been clouded and noted with a DELTA 1.

The sheets have been corrected per the comments as follows:

POLICE DEPARTMENT COMMENTS – MAX BRAZILL

No comments noted. – 9/11/25

UKIAH ELECTRIC UTILITY DEPARTMENT COMMENTS – SCOTT BOZZOLI

This property will be served from Underground service.

RESPONSE: Noted, underground service will continue to be underground and we will work with the PUD to design and upgrade the service as needed.

Developer is to provide EUSERC approved electrical equipment compatible with the City of Ukiah's current EUSERC Acceptability Chart before the panel can be used on this project.

RESPONSE: Noted.

All future site improvements shall be submitted to the Electric Utility Department for review and comment. At that time, specific service requirements, service Voltage and developer costs and requirements will be determined.

RESPONSE: Noted.

Developer/customer shall incur all costs of this future project to include (labor, materials, equipment, and future services).

RESPONSE: Noted.



Ukiah Department of Community Development
Permit No. PA25-000019; Project No. 25-001114
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There shall also be an easement provided to the EUD for any Primary or Secondary that transverses through the property. Or around any City owned Electric equipment.

RESPONSE: *Noted.*

BUILDING DEPARTMENT COMMENTS – MATT KEIZER

A permit will be required for T.I. (Tenant Improvements).

RESPONSE: *Noted.*

The design and construction of all site alterations shall comply with the 2022 California Building Code, 2022 Plumbing Code, 2022 Electrical Code, 2022 California Mechanical Code, 2022 California Fire Code, 2022 California Energy Code, 2022 Title 24 California Energy Efficiency Standards, 2022 California Green Building Standards Code, City of Ukiah, and Ukiah Valley Fire Authority Ordinances and Amendments.

RESPONSE: *Noted.*

FIRE DEPARTMENT COMMENTS – MATT KEIZER

The project shall comply with the currently adopted California Building Code, California Fire Code, and other codes, standards, regulations and requirements as enforced by the Ukiah Valley Fire Authority (UVFA).

RESPONSE: *Noted.*

Alterations to the building that impact the Fire Alarm and/or Fire Suppression Systems shall require a deferred submittal with a minimum of two sets of plans and with specifications provided to the UVFA for review and approval prior to initiating work that would impact those systems. Only a qualified C-16 contractor working on a fire suppression system or C-10 licensed contractor working on a fire detection system can complete necessary work on those systems.

RESPONSE: *Noted.*

The building Fire Sprinkler System shall be maintained operational at all times during alteration. When the renovation requires modification of a portion of a fire protection system, the remainder of the system shall be kept in service. CFC Section 3304.5, & N FPA 241 Section 10.8.

RESPONSE: *Noted.*

Provide access for ambulance pick up at the back/side of the building through easement from Tractor Supply. If a gate will be installed, provide access via a Strobe a siren, or other device approved by the Fire Code Official.



RESPONSE: *The design team has reviewed and provided a design update to provide an 8'-0" wide path of travel from the rear facility door to an emergency ambulance exit and will provide an emergency gate on the security fence that is activated by an approved device (siren or strobe) as suggested by the FD. We will continue to work and have discussions with planning and the fire marshal regarding the exact specs and requests for the gate access device(s).*

Follow up comments from Planning: The proposed southern curb cut allowing ambulance departures from the rear of the facility past Tractor Supply onto Airport Park Boulevard via the existing public accessway to 1252 Airport Park Boulevard is ideal. Staff supports this cross-parcel circulation and believes it will address UVFA concerns regarding pickup and turnaround. Please coordinate directly with Tractor Supply's real estate staff regarding access and related improvements. If you need additional assistance, please let us know.

o Contact: Justin Wood, Sr. Construction Manager, Tractor Supply Co.

PH: (615) 427-1046 | E: jwood@tractorsupply.com

5401 Virginia Way, Brentwood, TN 37027

RESPONSE: *Noted, the design team and civil engineer will reach out and work with the TSC team to develop this design element further.*

GREAT REDWOOD TRAIL AGENCY

The Great Redwood Trail Agency is pleased to see the desire to have connectivity to the trail. We did not see specific plans for the trail lining, so when MCHC is ready to go to that point, please connect them to . . . The GRTA would still need to approve the engineering specs for the trail connection . . .

RESPONSE: *Through discussions and review with the City of Ukiah Planning officials, MCHC finds it very difficult to provide a direct access to the trail from our facility. The rear of the facility will have security fencing and due to the parking needs of the facility, we find it nearly impossible to provide ADA access (code required) along with a stair access. The GRT Phase 4 design package indicates a trail access connection with stairs and ADA ramp in the adjacent parcel, to the north, which MCHC appreciates and would find that a great amenity for staff use during their breaks.*

In summary, based on the site constraints and the nature of the facility we find adding a GRT trail access point directly on the property not feasible at this time.

Follow up to response (from Planning Official): Given the site constraints discussed, we can explore alternative access to the GRT, likely through the Panda Express encroachment. Please include bicycle parking, storage, and related improvements to support use of the GRT by employees and clients.

RESPONSE: *Noted.*

If MCHC has any need for use of the GRTA property not affiliated with the trail connection such as Right of Entry, construction laydown, or equipment staging, MCHC would have to apply for an encroachment permit for this.

RESPONSE: *Noted.*



PLANNING DEPARTMENT COMMENTS – JESSE DAVIS

Airport Compatibility Zones: Can interior uses within the clinic be separated between Zones 5 and 6? Specifically, are patient-facing uses and check-in areas primarily located within Zone 6?

RESPONSE: All patient services for Urgent Care are administered through the front door facing Airport Park Blvd (in zone 6), only staff and administration visitors (internal) would be utilizing the back entrance. In very rare instances, emergency ambulance patient routes would be through the 3rd back door near receiving.

Airport Compatibility calculations and the demarcation of Zone 5 and 6 have been added to the A1.01 sheet and we are well below the occupancy factors for each zone (with the building occupants split 50/50).

Reduced Parking Justification: Please provide additional justification, including expected patient volumes.

RESPONSE: HY Architects and MCHC are working through the parking requirements and reduction justification. We will have a follow-up on staffing and patient loads before the next hearing.

Solar Panels - Roof-mounted and parking lot solar panels are feasible, and similar facilities along Airport Park Boulevard feature substantial rooftop installations. The Design Review Board supports sustainable energy features and would consider solar carports toward shade coverage requirements. Attached is glare analysis from a comparable project with greater runway exposure. This type of analysis will help confirm that the proposed panels will not create conflicts with aviation uses at UKI. Given the site location, typical flight paths, and existing mature tree coverage this is not expected, but glare considerations would be incorporated into a conditioned aviation easement.

RESPONSE: HY Architects and MCHC are anticipating and designing full solar panel offset for the energy needs of the facility including solar panels on the roof and two solar shade structures as indicated on the site plan. Additionally we plan to design and install battery storage for emergency and non-daylight hour power usage. We appreciate the City of Ukiah's support for green energies and net-zero initiatives.

Signage and Landscaping - Increased signage to the maximum allowed by the Ukiah Municipal Code is acceptable, including directional signage. Adjusting frontage landscaping to maintain visibility is also appropriate. The site's mature landscaping should be preserved wherever possible..

RESPONSE: HY Architects has increased the monument sign at Airport Park Boulevard, in this latest revision to the square footage allowed by the zoning code (based on linear feet of frontage). The trees at the main road have been changed from redwoods to a lower profile deciduous tree for better visibility of the Urgent Care facility, from the road.

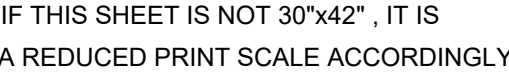


Ukiah Department of Community Development
Permit No. PA25-000019; Project No. 25-001114
Planning Review – First Submission
October 17, 2025

Submitted,

A handwritten signature in blue ink that reads "Kile Campbell".

Kile Campbell, Project Manager/Architect
Hibser Yamauchi Architects, Inc.



NOT FOR CONSTRUCTION

PLANNING PACKAGE

HY HIBSER YAMAUCHI
Architects, Inc.

4602 2nd Street, Suite 3
Davis, CA 95618
530.758.1270 tel / 530.758.4789 fax

HY Architects Project number: 6257

Client Project Number:	
Scale: 12" = 1'-0"	Sheet
Drawn By: Author	A0.01
Checked By: Checker	
Issue Date: 10/17/2025	
Revit Version: 2025	
	Sheet 1 of 200

APN: 180-080-74 & 180-080-75



IF THIS SHEET IS NOT 30"x42", IT IS
A REDUCED PRINT SCALE ACCORDINGLY

LANDSCAPE PLANTS



*SEE LANDSCAPE DRAWING FOR MORE INFORMATION

PARKING ANALYSIS

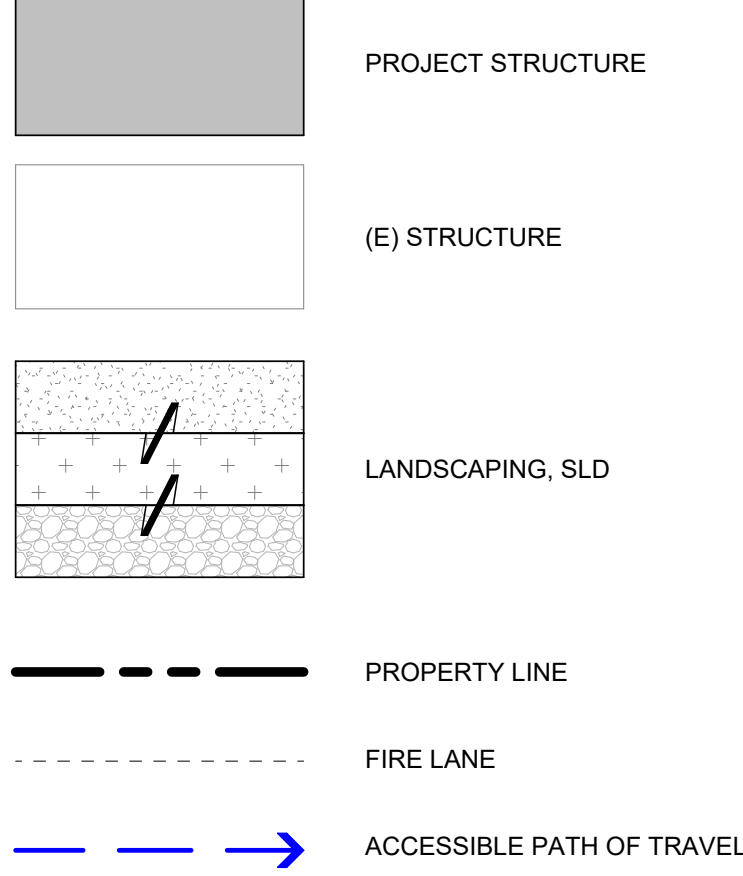
PARKING SPACES PROVIDED:
MEDICAL CLINIC (1 PARKING SPACE PER 200 SF)
7,197 SF / 200 =
OFFICE 1 PARKING SPACE PER 250 SF)
6,958 SF / 250 =
TOTAL REQUIRED PARKING SPACE:
PARKING SPACES PROVIDED TO REQ'D:
REQUIRED ACCESSIBLE PARKING SPACES:
(51 TO 75 - PER CBC 11B-28.2)
REQUIRED CLEAN-AIR VEHICLE PARKING SPACE:
(51 TO 75 - PER CGBSC 5.106.5.3)
REQUIRED BICYCLE PARKING (PER CGBSC 5.106.4)
SHORT TERM (5% OF REQUIRED PARKING):
LONG TERM (5% OF REQUIRED PARKING):
EMERGENCY VEHICLE FIRE LANE:
TOTAL AREA OF PARKING:

50 PARKING SPACES
36 PARKING SPACES
28 PARKING SPACES
64 PARKING SPACES
3 PARKING SPACES
3 EVCS WITH EVSE
13 EVCS
4
4
12' - 0" WIDE
23,629 SF

BUILDING INFORMATION

ADDRESS: 1240 AIRPORT PARK BLVD UKIAH, CA
1248 AIRPORT PARK BLVD UKIAH, CA
PARCEL NUMBER: 180-08-074
180-08-075
ZONE: PLANNING DEVELOPMENT COMBINING (PD-COMMERCIAL)
LOT AREA: 50,537 ± SF / 1.16 ACRES
BUILDING COVERAGE: 6,958 SF (14%)
LANDSCAPE COVERAGE: 10,107 SF (10%)
EXISTING FLOOR AREA: 7,000 SF
FIRST FLOOR AREA: 7,216 SF
SECOND FLOOR AREA: 7,227 SF
TOTAL FLOOR AREA: 14,443 SF
CONSTRUCTION TYPE: II-B
BUILDING HEIGHT: 36' - 4"
OCCUPANCY TYPE: B
FIRE PROTECTION: FULLY SPRINKLER AND FIRE ALARM SYSTEM

LEGEND



PLANNING GENERAL NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

AIRPORT COMPATIBILITY

ZONE 5 SQUARE FOOTAGE = 18,779 SF OR 0.43 ACRES
ZONE 6 SQUARE FOOTAGE = 31,759 SF OR 0.73 ACRES
- HALF BUILDING SQUARE FOOTAGE IS IN ZONE 5 AND HALF IN ZONE 6
- TOTAL BUILDING OCCUPANCY = 220 PEOPLE
ZONE 5:
- MAX SITEWIDE AVG INTENSITY (PPL/ACRE) = 100/ACRE
- MAX SINGLE ACRE INTENSITY (PPL/ACRE) = 300/ACRE
- ZONE 5 ACRES 0.43 ACRES X 300 PPL/ACRE = 129 PEOPLE
OCCUPANCY IN ZONE 5 = 110 PEOPLE < 129 PEOPLE
ZONE 6:
- MAX SITEWIDE AVG INTENSITY (PPL/ACRE) = 300/ACRE
- MAX SINGLE ACRE INTENSITY (PPL/ACRE) = 1,200/ACRE
- ZONE 6 ACRES 0.73 ACRES X 1200 PPL/ACRE = 876 PEOPLE
OCCUPANCY IN ZONE 6 = 110 PEOPLE < 876 PEOPLE



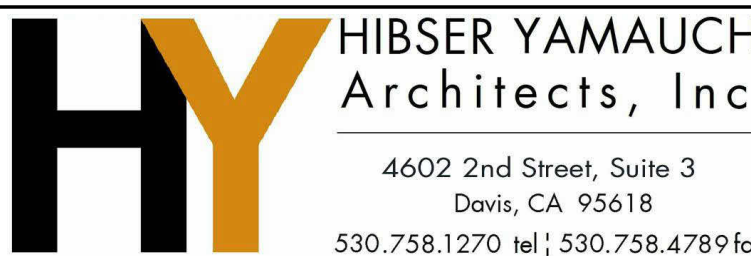
Revisions	By
Delta	Date
1	10/17/25
PLANNING & OWNER REVISIONS	KC

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PLANNING
PACKAGE

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HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
SITE PLAN - REMODEL

Client Project Number:	Sheet
Scale: As indicated	A1.01
Drawn By: Author	
Checked By: Checker	
Issue Date: 10/17/2025	
Revit Version: 2025	Sheet 2 of 200

1 SITE PLAN - REMODEL

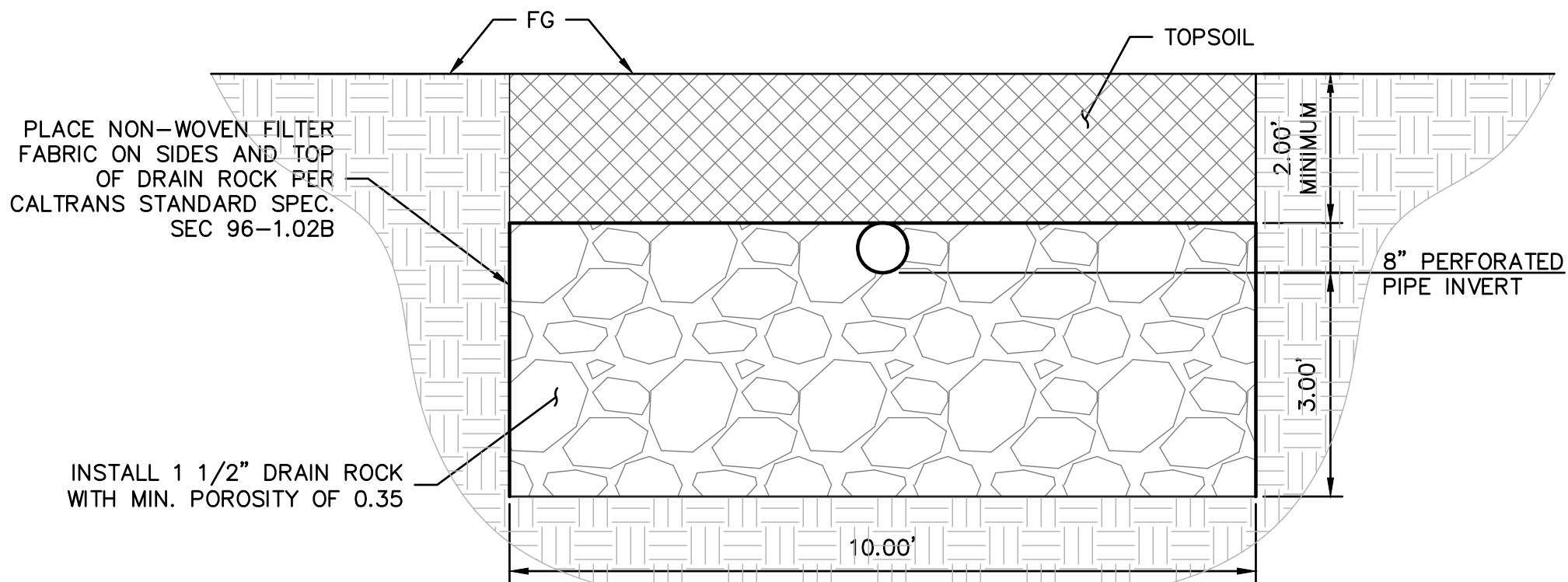
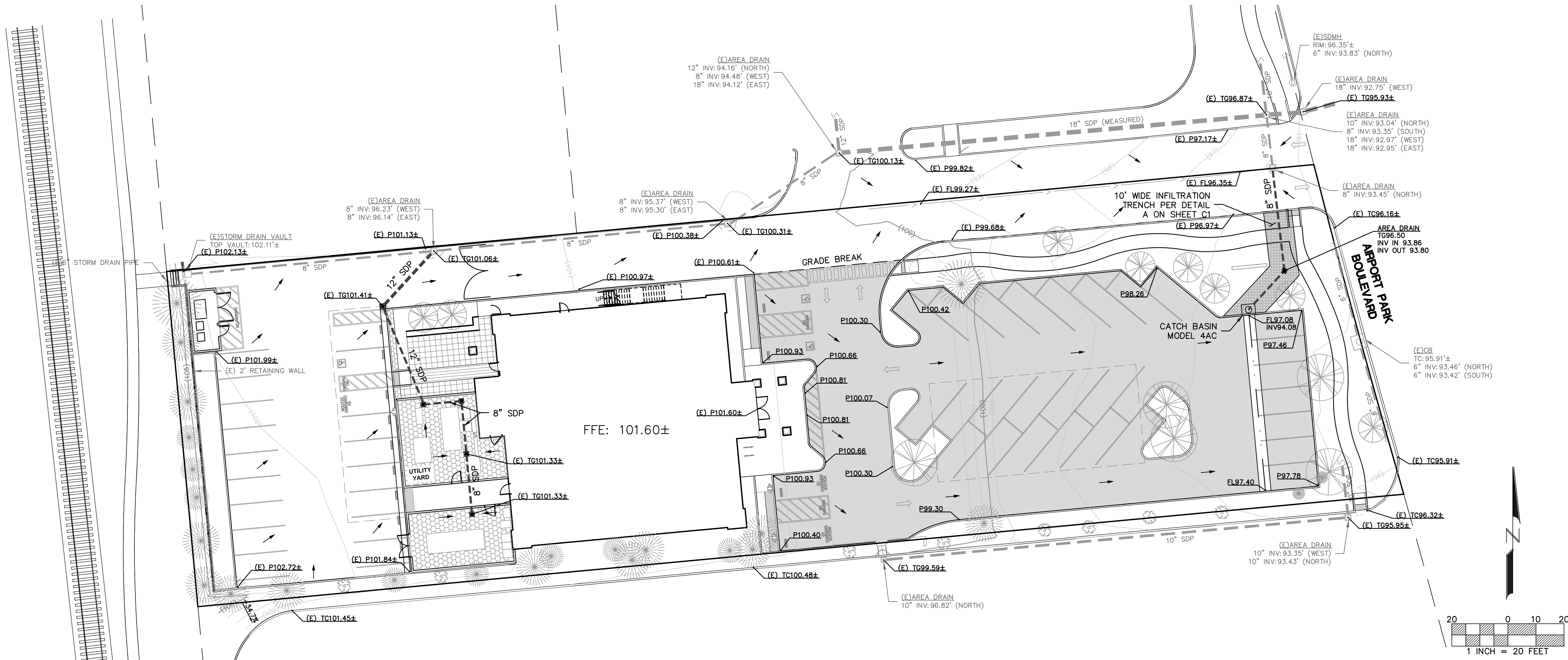
1/16" = 1'-0"

C:\Users\nguyen\Documents\6257 MCHC-Airport Park Urgent Care Option 2_R25_mrguyen\6257.rvt

10/20/2025 8:35:05 AM



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INFILTRATION TRENCH DETAIL
SCALE: 1"=2'

LEGEND:

PROPOSED AREA OF NEW PAVEMENT

Revisions

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ENTITLEMENT
LEVEL

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**SHARRAH
DUNLAP
SAWYER**
INCORPORATED
Civil Engineering • Land Planning • Surveying & Mapping
Landscape Architecture • Presentation Graphics
320 Hartwell Avenue, Redding, CA 96002
530.221.1700 ext. 100
info@sharrahengineering.com

HY HIBSER YAMAUCHI
Architects, Inc.
300 - 27th Street
Oakland, CA 94612
510.446.2222 tel | 510.446.2211 fax

HY Architects Project number:

Facility
MENDOCINO COUNTY HEALTH CLINIC
1240 AIRPORT PARK BLVD.
UKIAH, CA 95482

Project
URGENT CARE CLINIC &
ADMINISTRATION BUILDING

Sheet Title
PRELIMINARY GRADING &
DRAINAGE SHEET

Client Project Number:

Scale: 1"=20'

Drawn By: KN @ SDS

Checked By: MD @ SDS

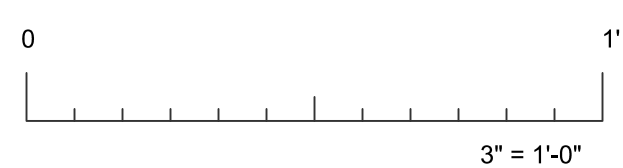
Issue Date: OCTOBER 17, 2025

Civil 3D Version: 2024

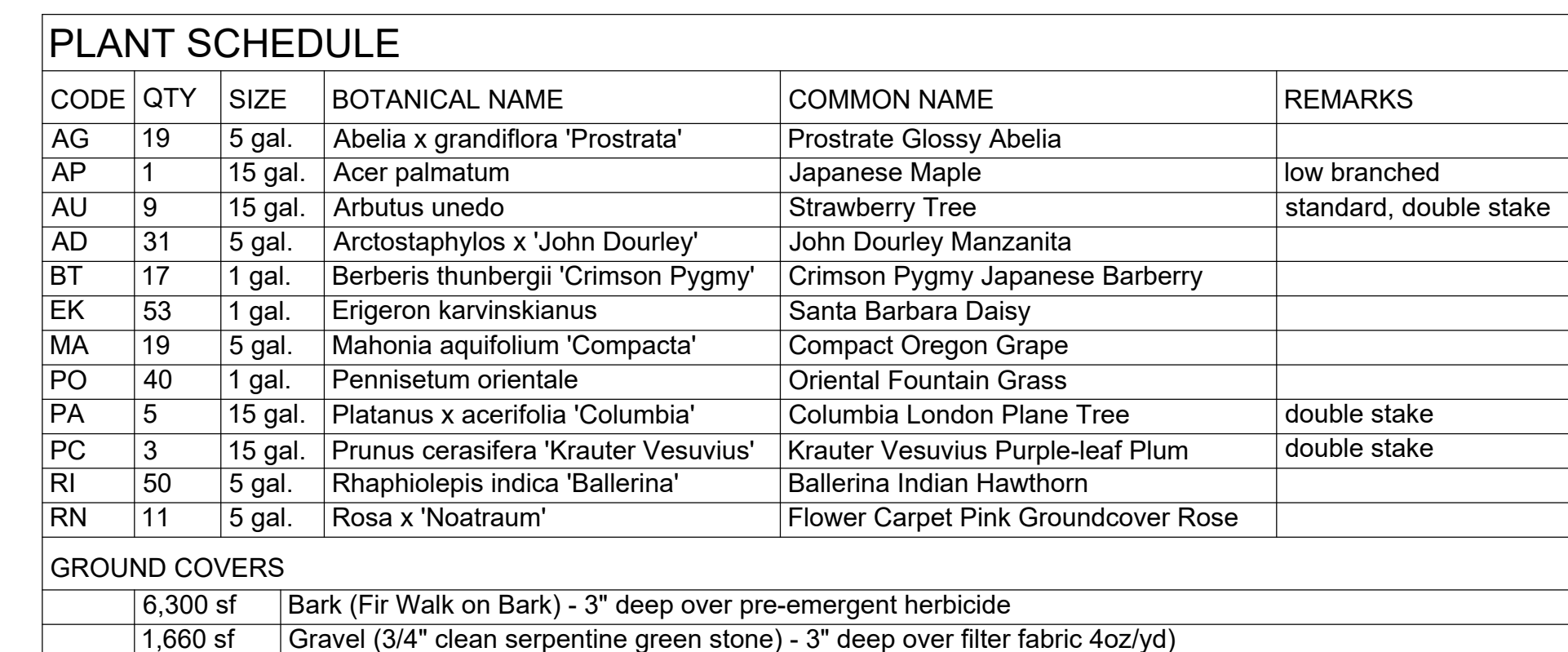
Sheet

C1

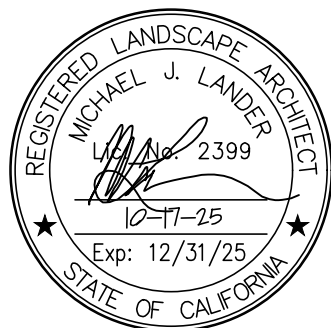
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DOMESTIC & IRRIGATION METER DETAIL
SCALE: 1"=5'



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Michael Lander ASLA
Landscape Architecture
RLA 2399
20270 Lupine Drive • Redding, California • 96002
(530) 223-2488

Planting Plan

MCHC Urgent Care Clinic

1240 Airport Park Blvd.
Ukiah, California

8-14-2025

10-17-2025

L1

$$1'' = 20'$$

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○

NUMBERED NOTES

1

300KW STANDBY GENERATOR.

2

(N) INTEGRATED POWER CENTER 2(IPC2). 150KVA XFMR, 480V TO 208Y/120 V 3 PH, 4W, NEMA 3R.

3

MAIN SWITCHBOARD, NEMA 3R.

4

AUTOMATIC TRANSFER SWITCH, 600A.

5

UTILITY TRANSFORMER, WITH PRECAST PAD. CONTRACTOR PROVIDED, PROVIDE FIXED AND REMOVABLE BARRIER POST AROUND TRANSFORMER AS REQUIRED. PROVIDE 4' IN ALL DIRECTIONS FOR CLEARANCE FROM EDGE OF THE PAD.

6

(4) 5" CONDUITS FOR UTILITY SECONDARY CONDUITS, VERIFY QUANTITY & ROUTING WITH UTILILTY SERVICE COMMITMENT LETTER, CONDUIT & CONDUCTOR TO BE INSTALLED BY CONTRACTOR.

7

(E) CCTV PULL BOX.

8

PROPOSED LOW VOLTAGE CONDUITS STUB, (1) 2" FIBER, (1) 2" FOR TELEPHONE, (1) 2" FOR CATV, (2) 2" SPARE CONDUITS.

SERVICE NOTES

ELECTRICAL CONTRACTOR SHALL INCLUDE IN HIS WORK THE ELECTRICAL POWER, TELECOMMUNICATIONS, AND CABLE TELEVISION SERVICES. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS FROM THE UTILITY COMPANY AND FROM THESE PLANS AND SPECIFICATIONS. CONTACT THE UTILITY COMPANY AND OBTAIN THEIR REQUIREMENTS REGARDING THE DETAIL OF SERVICES AND ASSOCIATED WORK. WHERE THE UTILITY COMPANY REQUIRE MATERIALS AND METHODS BEYOND THESE PLANS AND SPECIFICATIONS, REPORT THE DISCREPANCIES TO THE ARCHITECT AND ENGINEER OF RECORD PRIOR TO PURCHASING OF MATERIALS AND CONSTRUCTION.

POWER CO.: PG&E

CONTACT(S): TBD

BEFORE BEGINNING SUBSTRUCTURE WORK, CALL 811.

811

Know what's below.
Call before you dig.

NOT FOR CONSTRUCTION

Planning Package

AGENCY APPROVAL

EDGE

Project Number M101
Contact Huajie
400 R Street, Ste 333
Sacramento, CA 95811
916.256.2460
Sacramento | Alameda | Irvine

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HY

HIBSER YAMAUCHI
Architects, Inc.

300 - 27th Street
Oakland, CA 94612
510.446.2222 tel | 510.446.2211 fax

HY Architects Project number: _____ Project Number _____

Facility _____

Enter address here

Project _____

URGENT CARE CLINIC &
ADMINISTRATION BUILDING

Sheet Title _____

OVERALL SITE PLAN -
ELECTRICAL

Client Project Number: _____ Client Proj. # _____

Scale: As indicated

Drawn By: Author

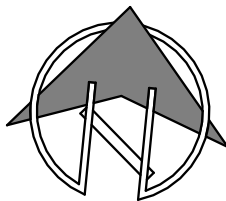
Checked By: Checker

Issue Date: _____ Issue Date _____

Revit Version: 2023

Sheet _____ of 200

E1.01





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Revisions			
Delta	Date	Revisions	By

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Planning Package

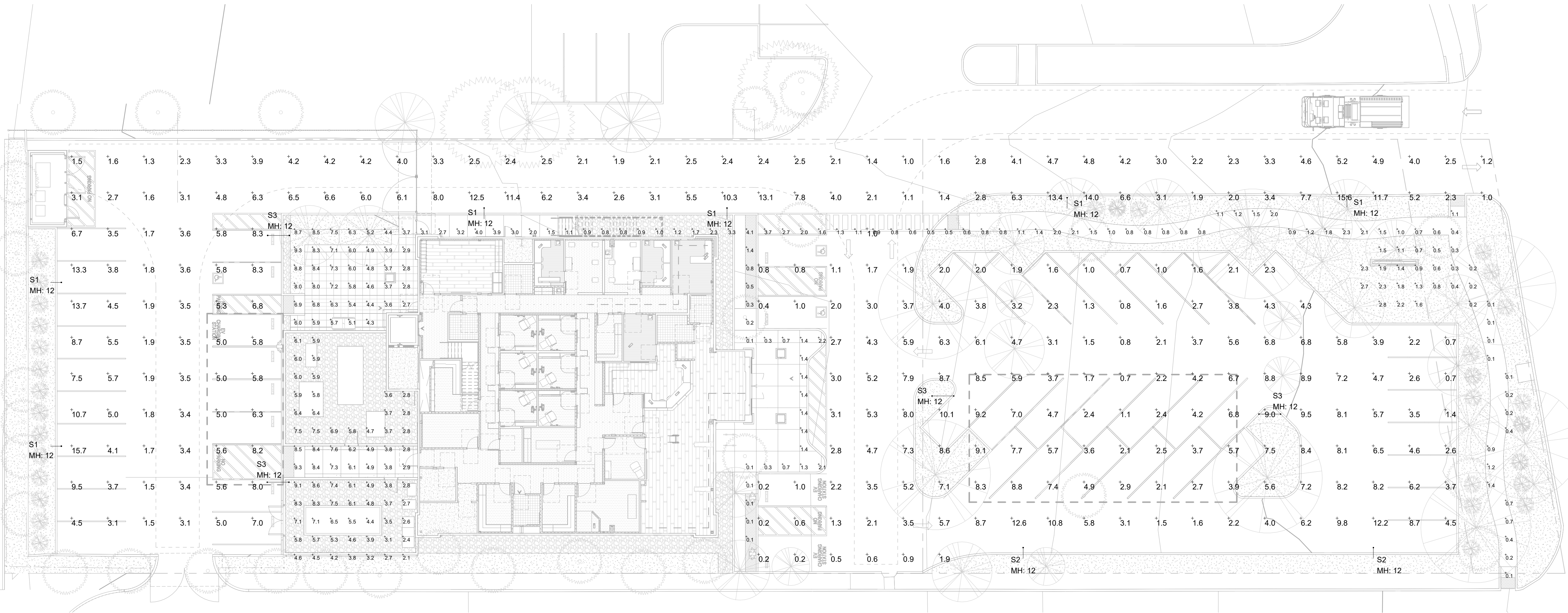
AGENCY APPROVAL



Project Number M101
Contact Huajie
400 R Street, Ste 333
Sacramento, CA 95811
916.256.2460
Sacramento | Alameda | Irvine

Luminaire Schedule							
Scenario: GENERAL							
Symbol	Qty	Label	Arrangement	Description	Lum. Lumens	LLF	Filename
—•—	6	S1	SINGLE	GARCO ECF-S-32L-700-NW-G2-AR1-UNV	9720	0.900	ecf-s-32l-700-nw-g2-2.ies
—•—	2	S2	SINGLE	GARCO ECF-S-32L-1A-NW-G2-4-AR1-UNV	14006	0.900	ecf-s-32l-1a-nw-g2-4.ies
—•—	4	S3	Back-Back	GARCO ECF-S-32L-1A-NW-G2-5W-AR1-UNV	13923	0.900	ecf-s-32l-1a-nw-g2-5w.ies

Calculation Summary							
Scenario: GENERAL							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Ft	4.52	15.7	0.2	22.60	78.5
WALKWAY	Illuminance	Ft	2.93	9.3	0.1	29.30	93.0



1 OVERALL SITE PLAN - PHOTOMETRICS

SCALE: 1/16" = 1'-0"

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HY Architects Project number: Project Number

Facility
Enter address here

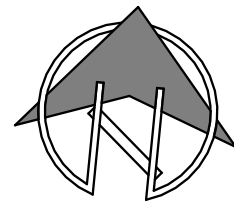
Project
URGENT CARE CLINIC &
ADMINISTRATION BUILDING

Sheet Title
OVERALL SITE PLAN -
PHOTOMETRICS

Client Project Number: Client Proj. #

Scale: As indicated
Drawn By: Author
Checked By: Checker
Issue Date: Issue Date
Revit Version: 2023

Sheet
E1.02
of 200





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MCHC
HEALTH CENTERS

Revisions			
Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

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PLANNING
PACKAGE

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Architects, Inc.
4602 2nd Street, Suite 3
Davis, CA 95618
530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
**OVERALL FIRST FLOOR PLAN
- REMODEL**

Client Project Number:		Sheet
Scale:	As indicated	A2.02
Drawn By:	Author	
Checked By:	Checker	
Issue Date:	10/17/2025	
Revit Version:	2025	Sheet 2 of 200

PLANNING GENERAL NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80".
3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

PARTITION LEGEND

NOTE: FOR ANY PARTITION THAT IS NOT TAGGED ON THE PLAN, REFER TO ITS CORRESPONDING GRAPHIC IN THIS WALL LEGEND TO DETERMINE ITS TYPE

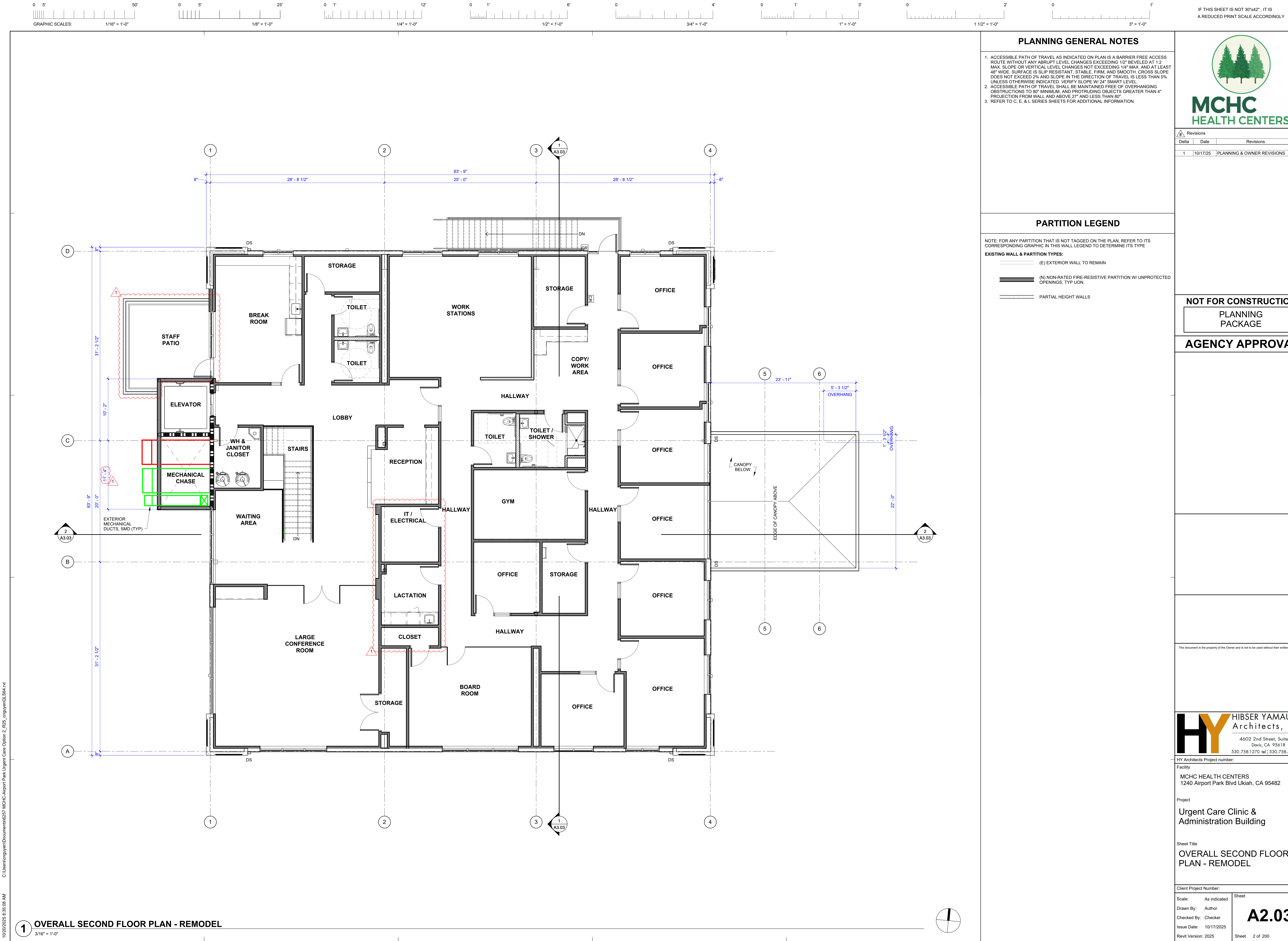
EXISTING WALL & PARTITION TYPES:

- (E) EXTERIOR WALL TO REMAIN
- (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
- PARTIAL HEIGHT WALLS



1 OVERALL FIRST FLOOR PLAN - REMODEL

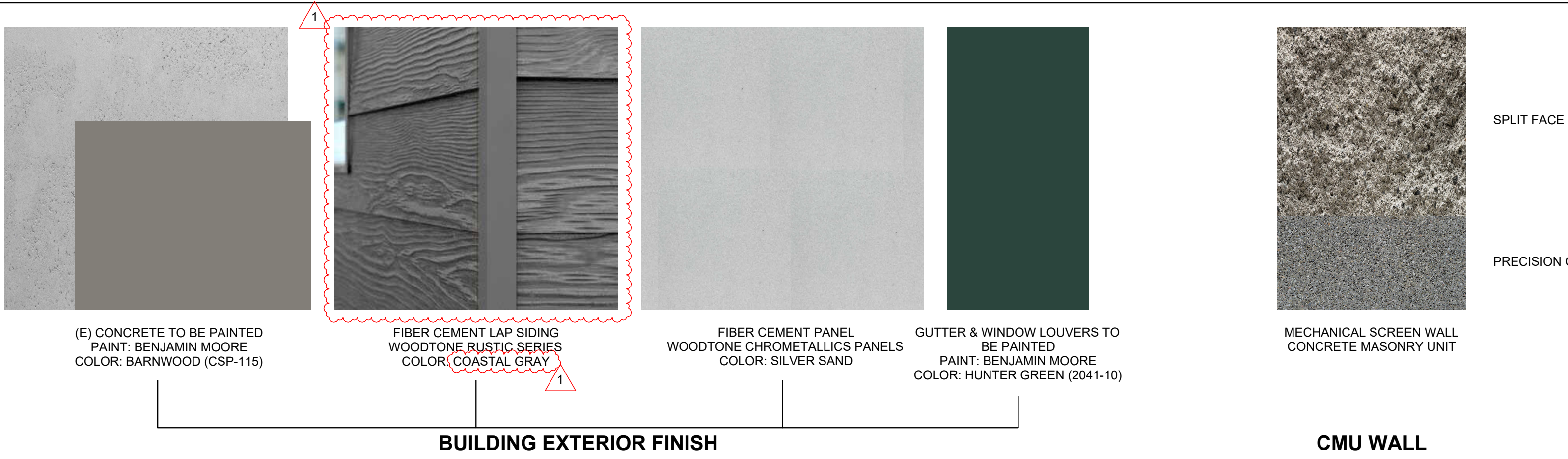
3/16" = 1'-0"





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MATERIAL BOARD



EAST PERSPECTIVE RENDERING



MCHC
HEALTH CENTERS

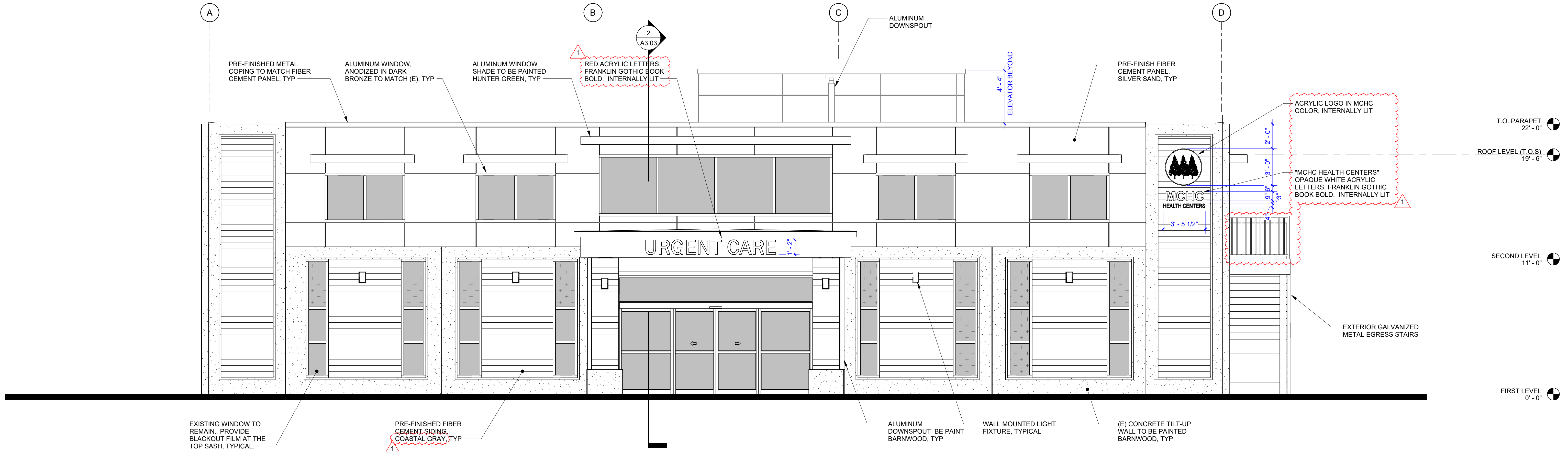
Revisions			
Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

NOT FOR CONSTRUCTION
PLANNING
PACKAGE

AGENCY APPROVAL

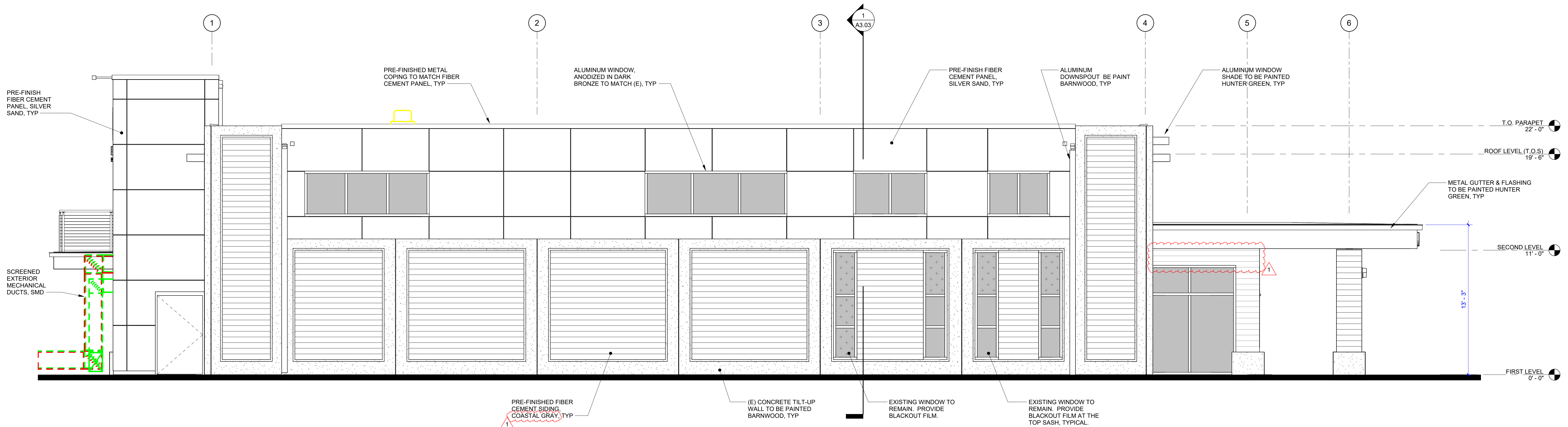
1 EXTERIOR ELEVATION - EAST - Dependent 1

1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH - Dependent 1

1/4" = 1'-0"



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Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
EXTERIOR ELEVATIONS

Client Project Number:
Scale: As indicated
Drawn By: Author
Checked By: Checker
Issue Date: 10/17/2025
Revit Version: 2025

Sheet
A3.01
Sheet 2 of 200



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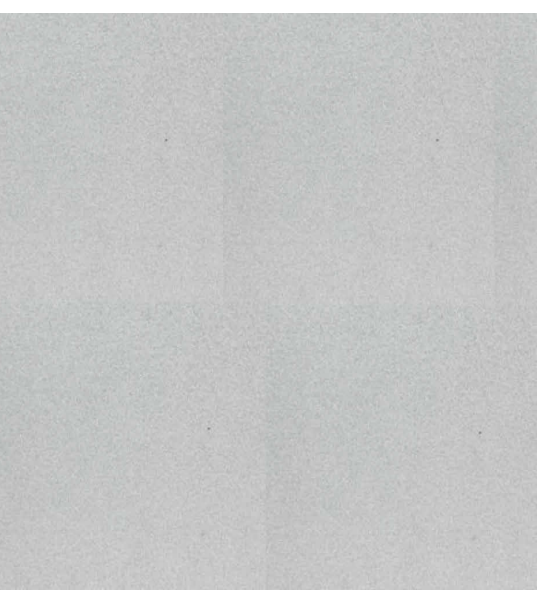
MATERIAL BOARD



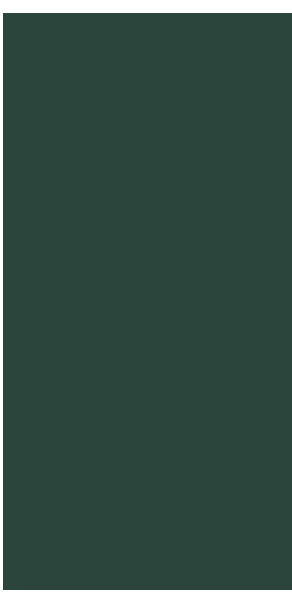
(E) CONCRETE TO BE PAINTED
PAINT: BENJAMIN MOORE
COLOR: BARNWOOD (CSP-115)



FIBER CEMENT LAP SIDING
WOODTONE RUSTIC SERIES
COLOR: COASTAL GRAY



FIBER CEMENT PANEL
WOODTONE CHROMETALLICS PANELS
COLOR: SILVER SAND



GUTTER & WINDOW LOUVERS TO BE PAINTED
PAINT: BENJAMIN MOORE
COLOR: HUNTER GREEN (2041-10)



MECHANICAL SCREEN WALL
CONCRETE MASONRY UNIT

SPLIT FACE

PRECISION CUT

BUILDING EXTERIOR FINISH

CMU WALL

WEST PERSPECTIVE RENDERING



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HEALTH CENTERS

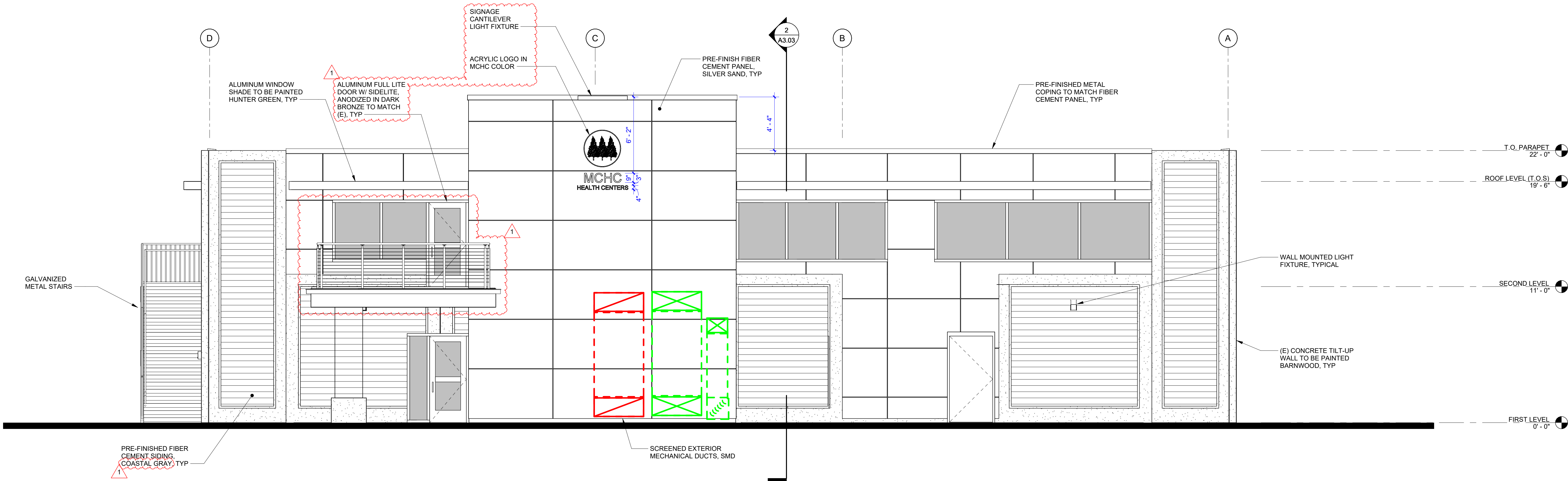
Revisions	Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS		KC

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PACKAGE

AGENCY APPROVAL

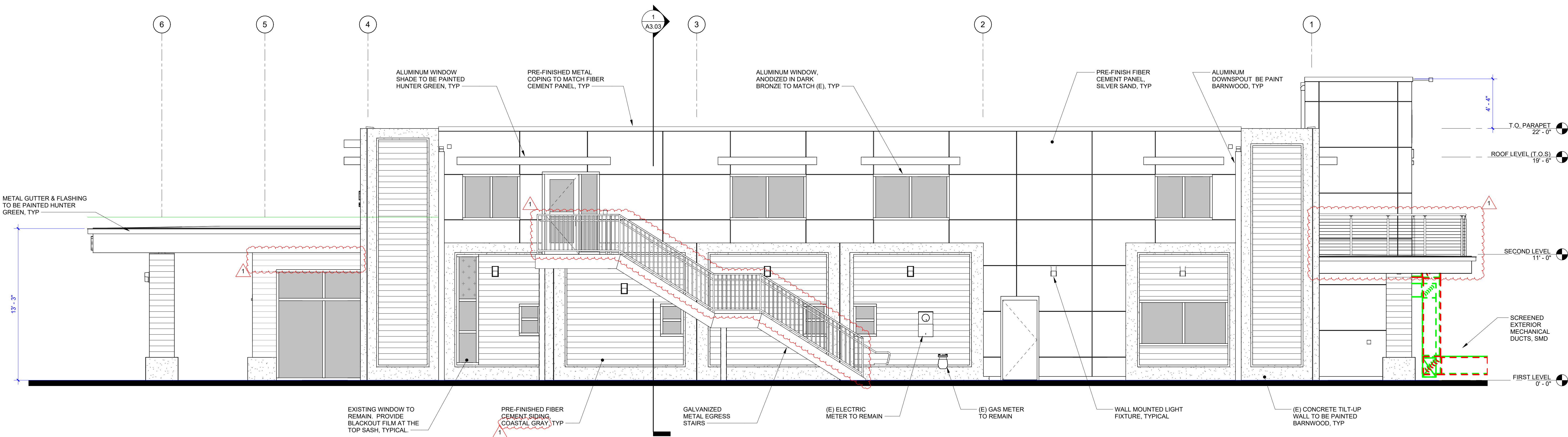
1 EXTERIOR ELEVATION - WEST - Dependent 1

1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH - Dependent 1

1/4" = 1'-0"



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HY HIBSER YAMAUCHI
Architects, Inc.
4602 2nd Street, Suite 3
Davis, CA 95618
530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
EXTERIOR ELEVATIONS

Client Project Number:
Scale: As indicated
Drawn By: Author
Checked By: Checker
Issue Date: 10/17/2025
Revit Version: 2025
Sheet
A3.02
Sheet 2 of 200



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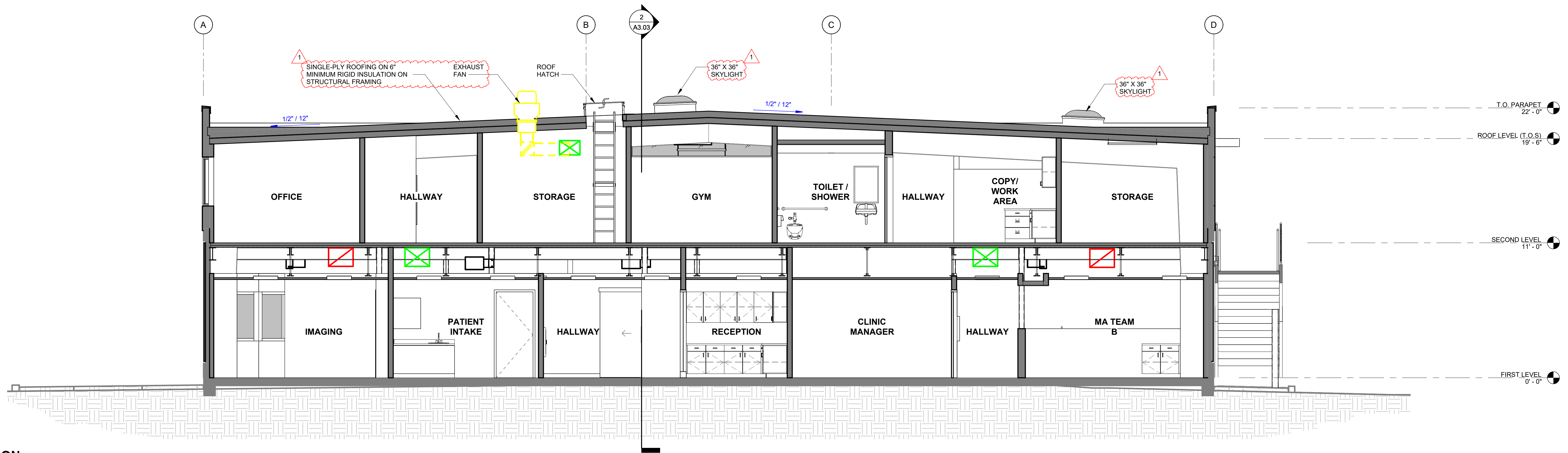


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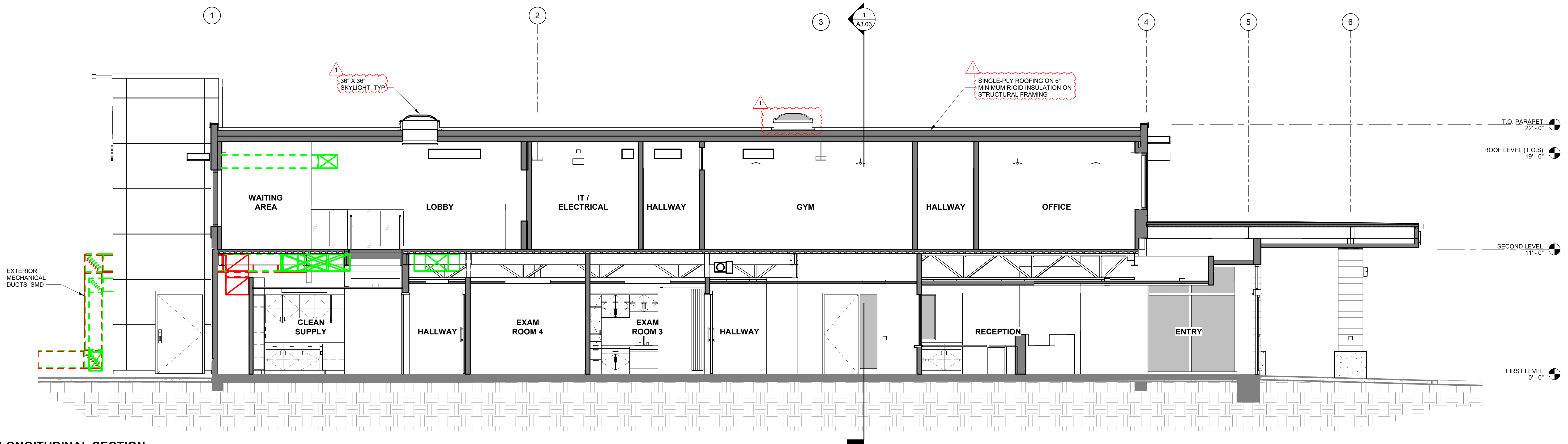
Revisions			
Delta	Date	Revisions	By
1	10/17/25	PLANNING & OWNER REVISIONS	KC

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1 TRANSVERSE SECTION
1/4" = 1'-0"



2 LONGITUDINAL SECTION
1/4" = 1'-0"

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Facility
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Project
Urgent Care Clinic &
Administration Building

Sheet Title
BUILDING SECTIONS

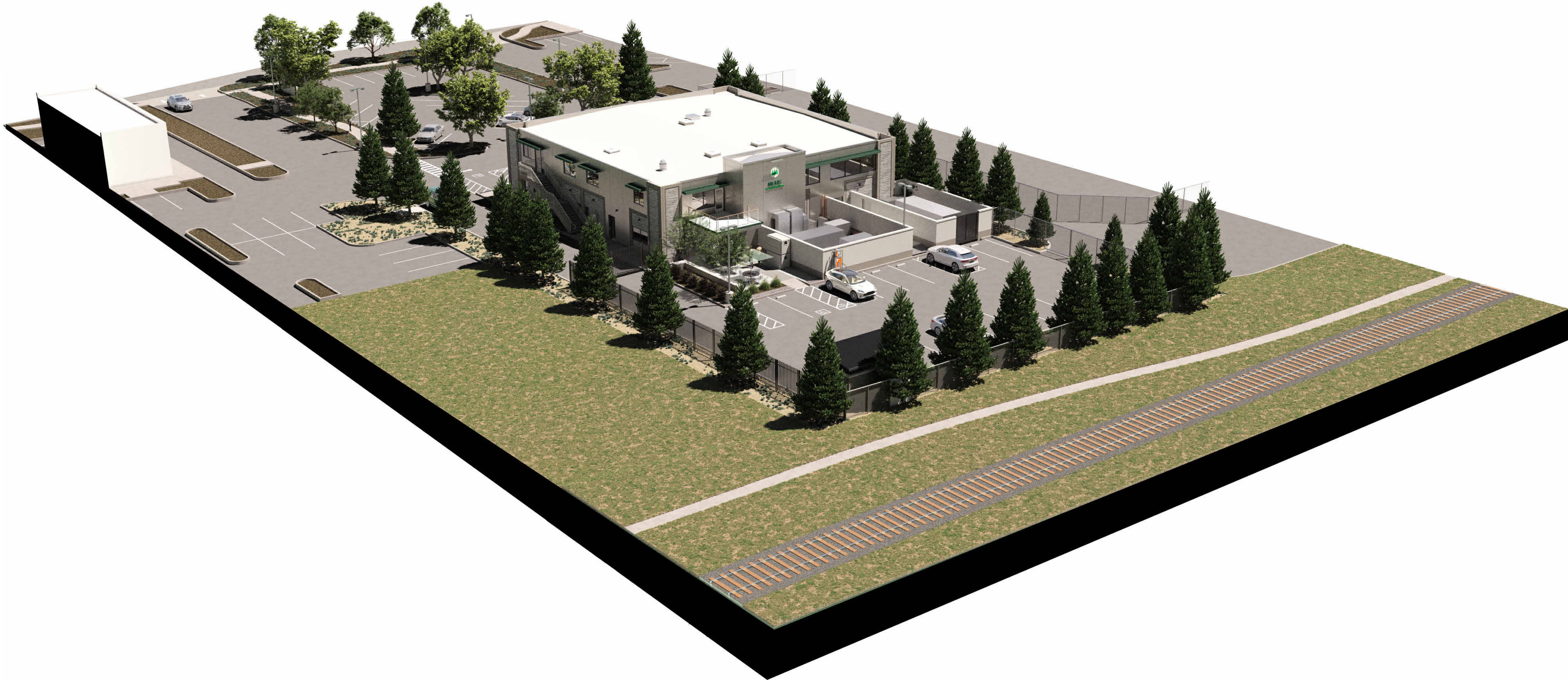
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Drawn By:	Author	
Checked By:	Checker	
Issue Date:	10/17/2025	
Revit Version:	2025	Sheet 2 of 200



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1 NORTHEAST PERSPECTIVE
12" = 1'-0"



2 NORTHWEST PERSPECTIVE
12" = 1'-0"



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Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
EXTERIOR PERSPECTIVE
RENDERINGS

Client Project Number:		Sheet
Scale:	12" = 1'-0"	A3.04
Drawn By:	Author	
Checked By:	Checker	
Issue Date:	10/17/2025	
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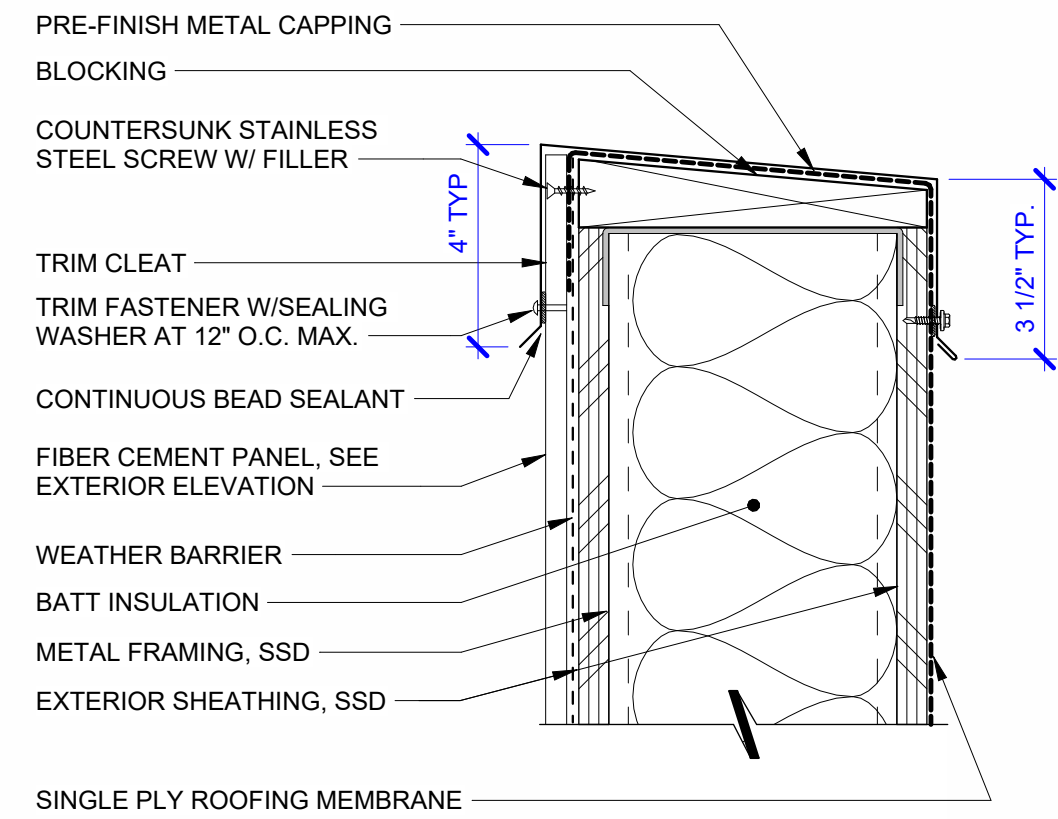
HY Architects Project number: 6257

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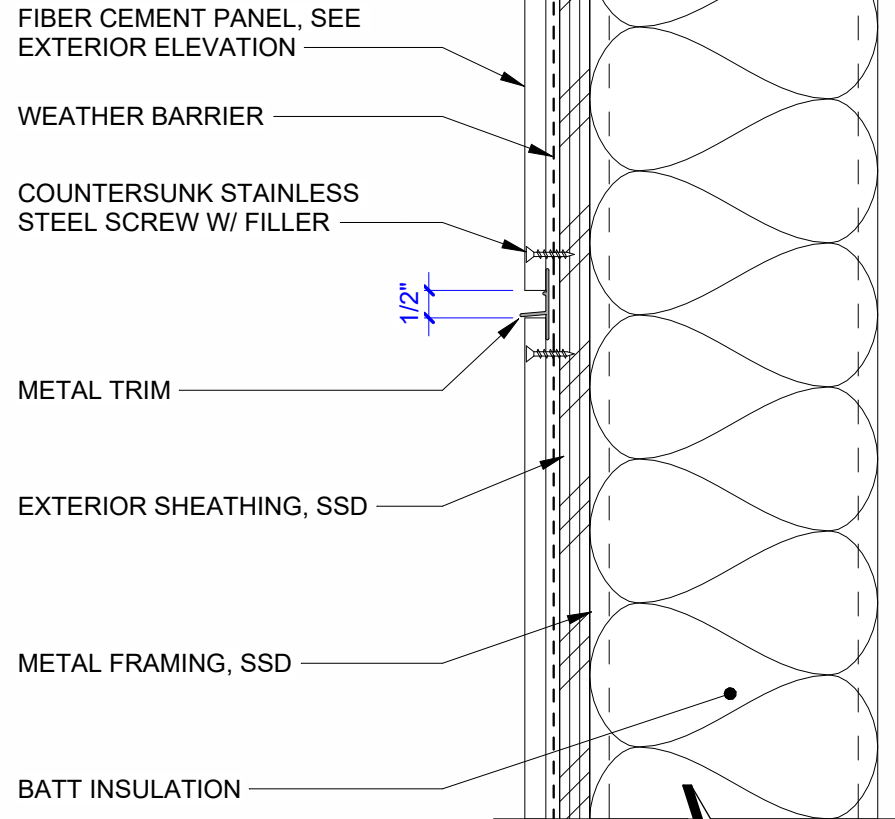
Project
Urgent Care Clinic &
Administration Building

Sheet Title
WALL SECTIONS & DETAILS

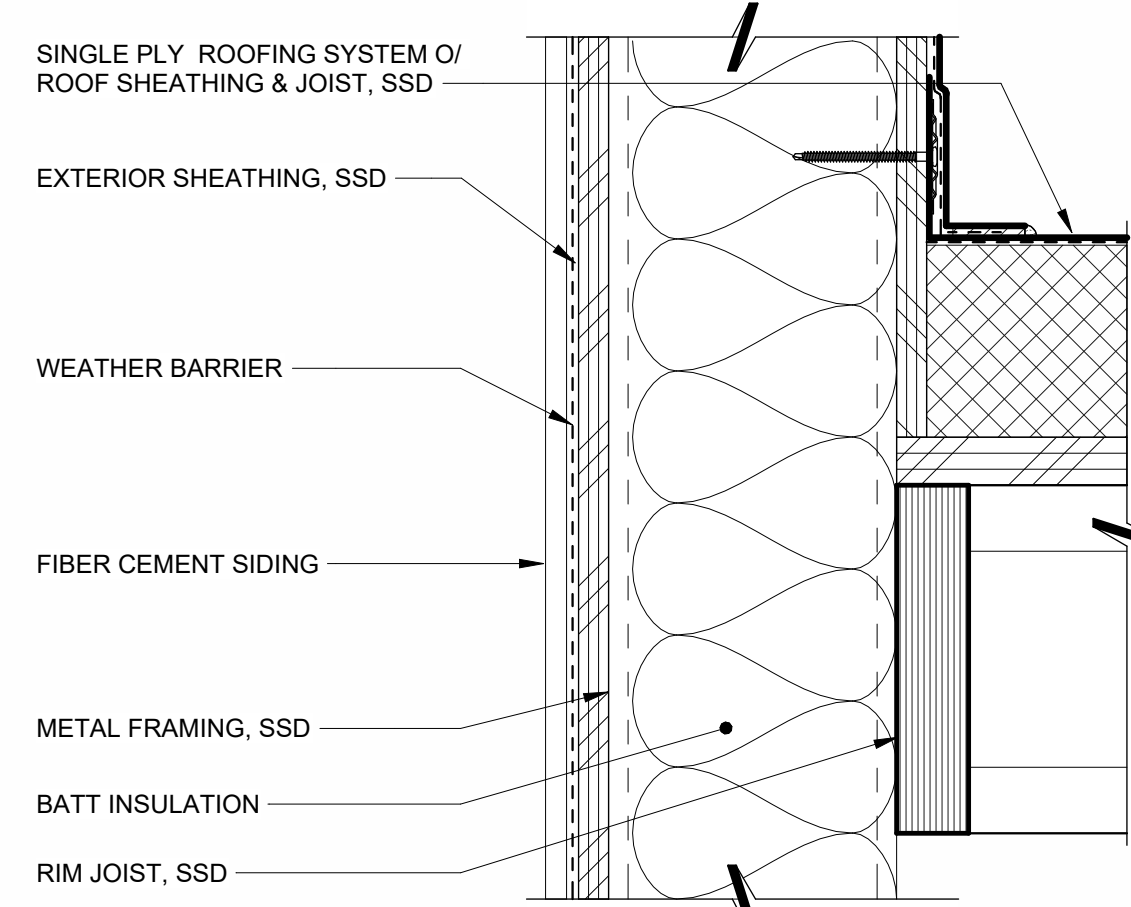
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Scale:	As indicated	A3.05
Drawn By:	Author	
Checked By:	Checker	
Issue Date:	10/17/2025	
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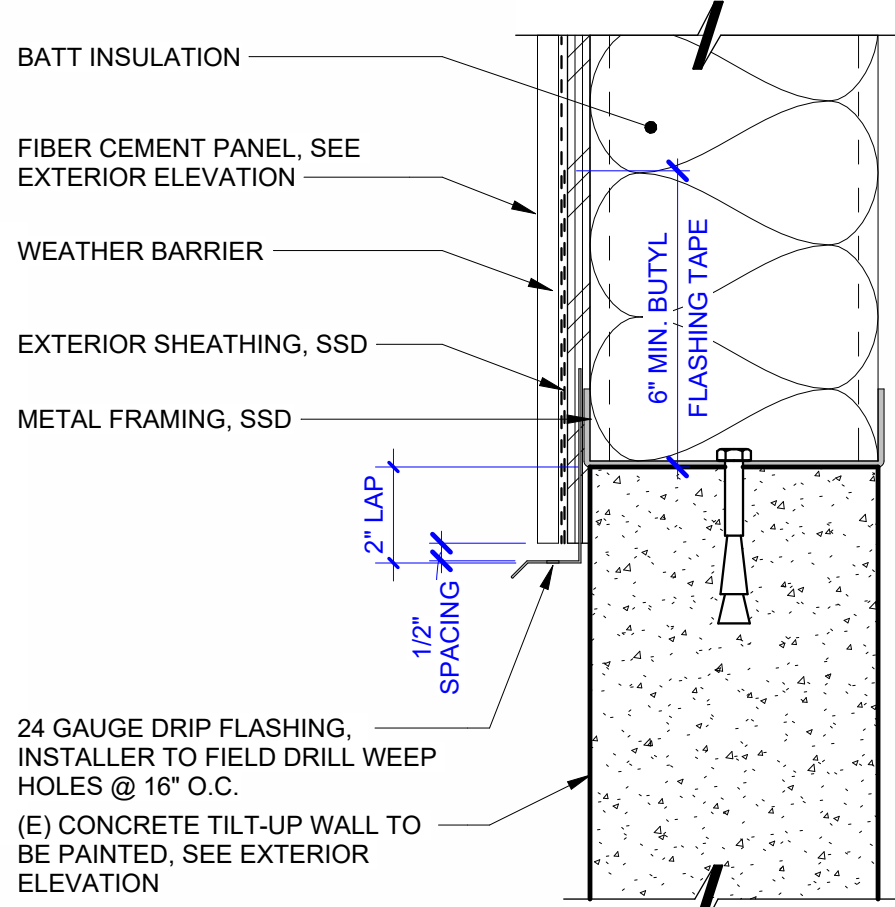
26 FIBER CEMENT PANEL PARAPET
3" = 1'-0"



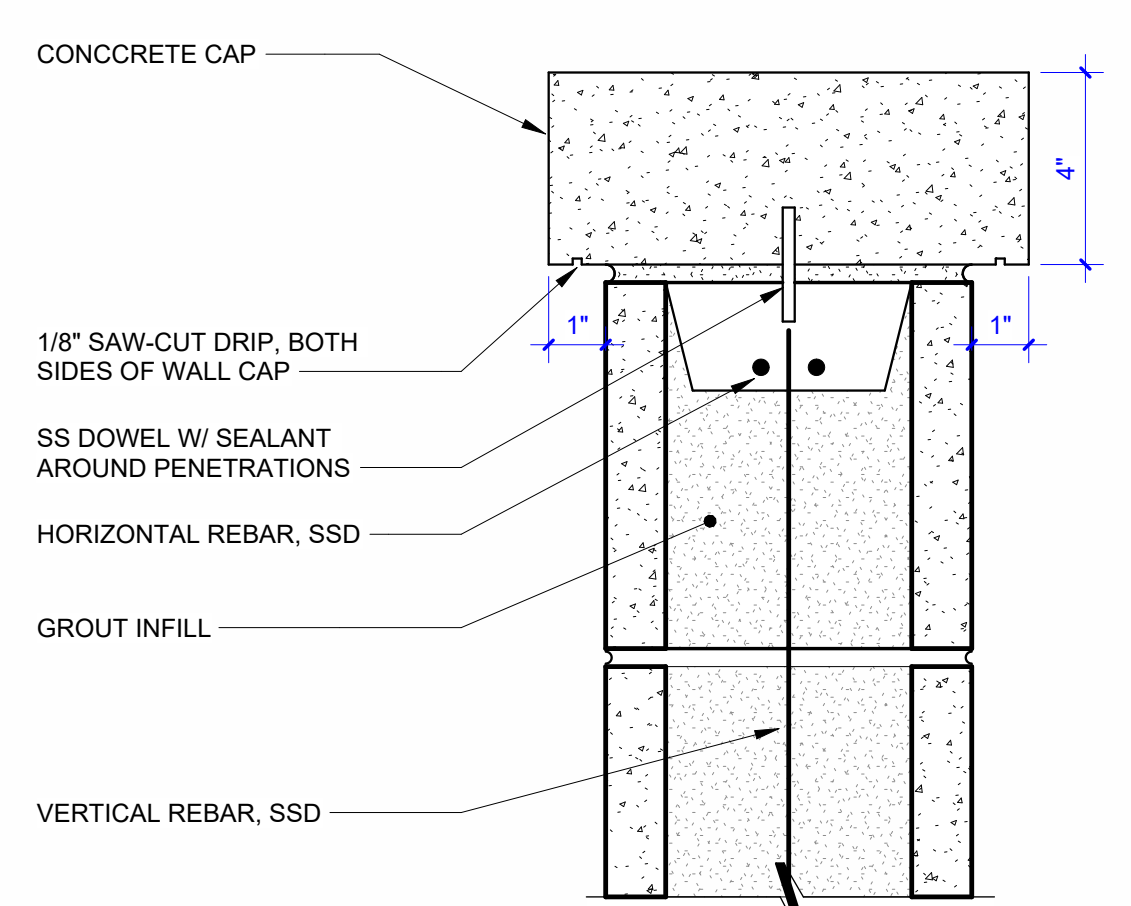
21 FIBER CEMENT PANEL SECTION
3" = 1'-0"



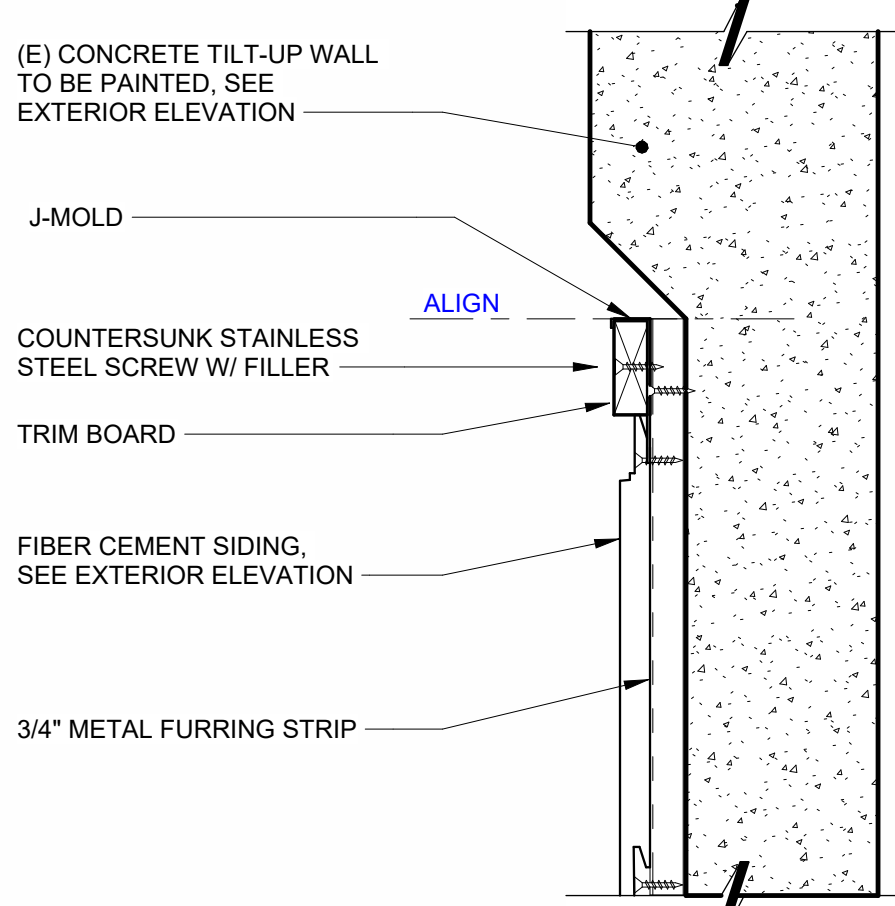
27 FIBER CEMENT PANEL PARAPET BASE
3" = 1'-0"



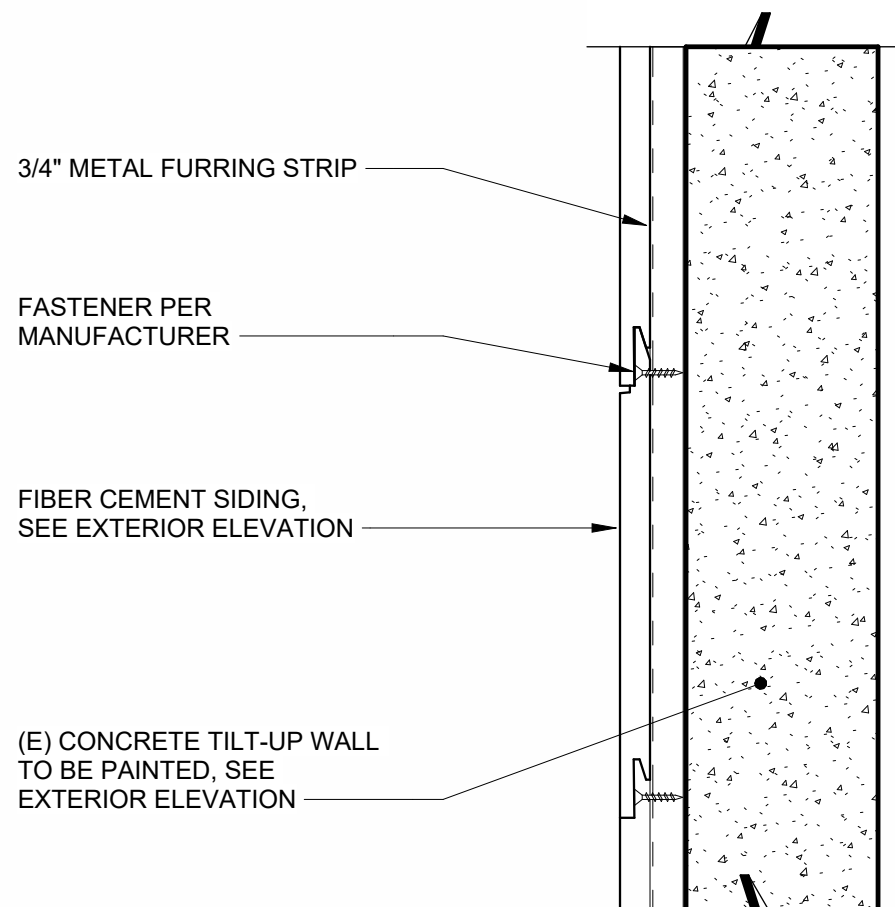
22 FIBER CEMENT PANEL BASE
3" = 1'-0"



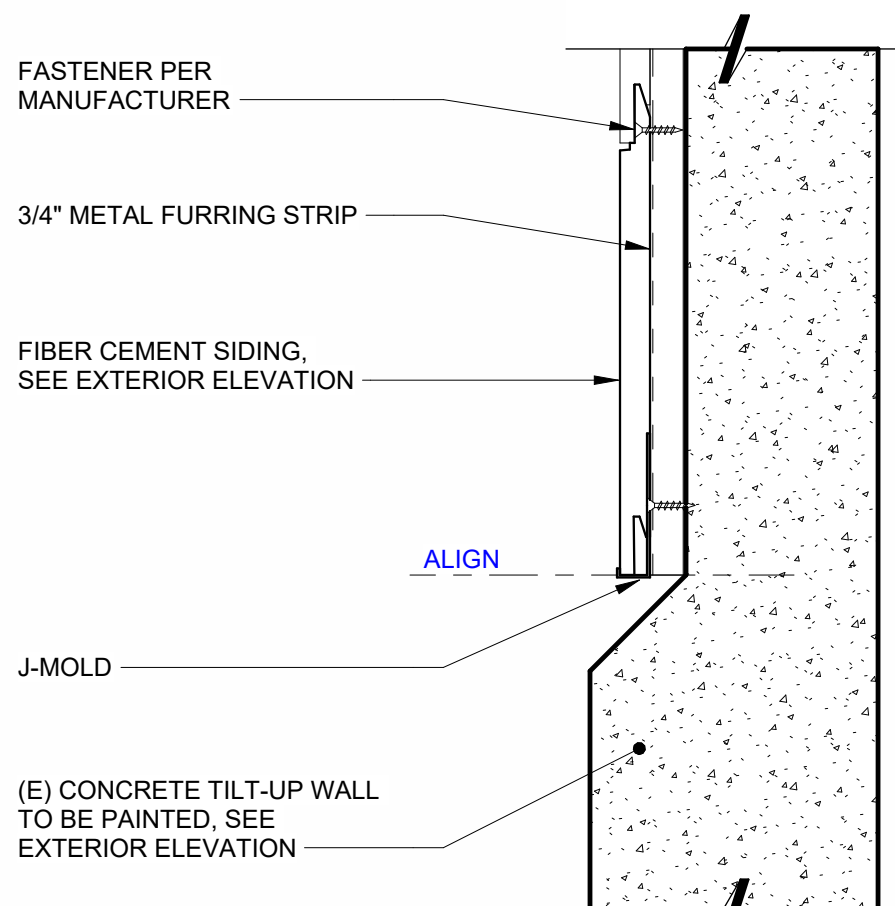
28 CMU HEADER
3" = 1'-0"



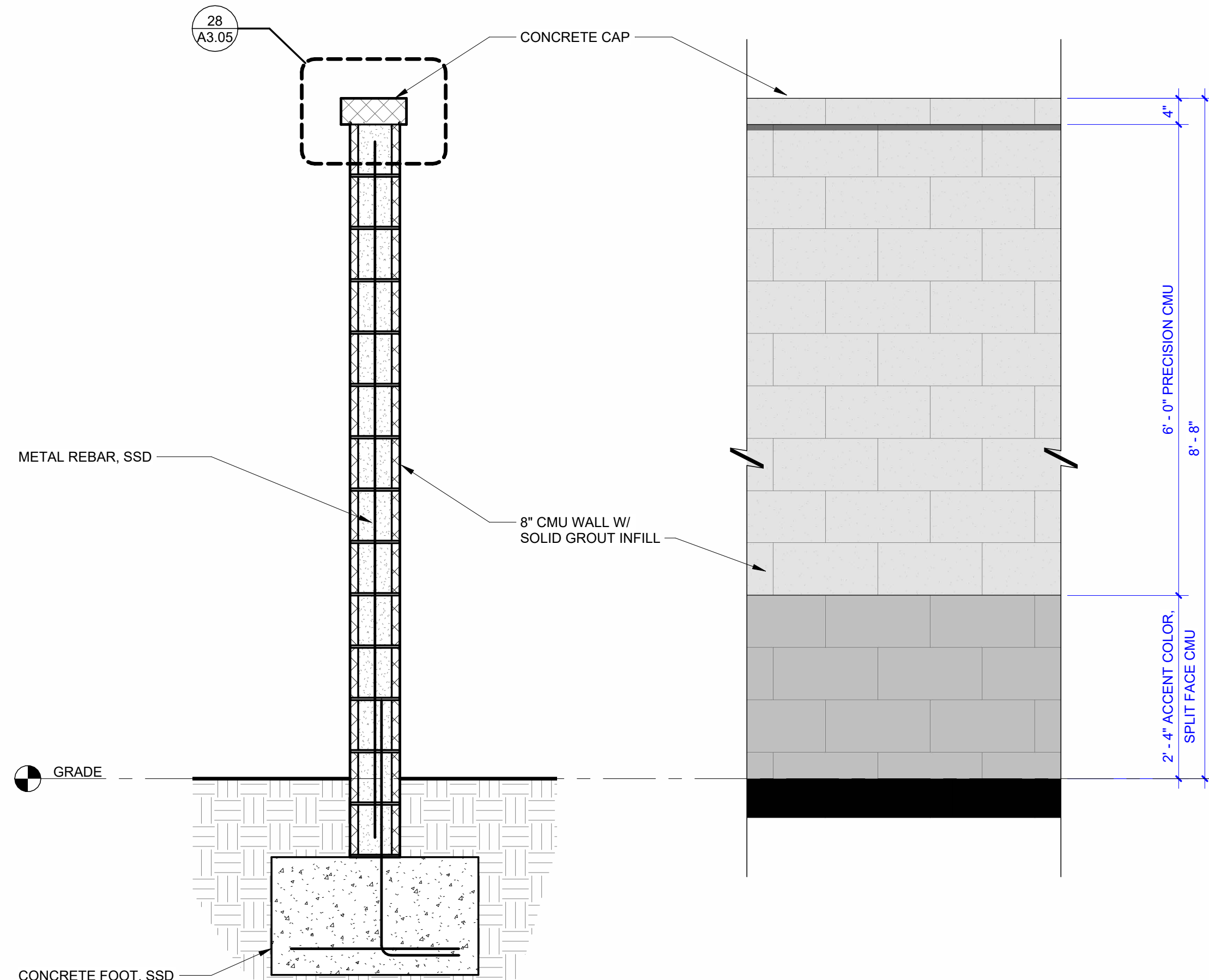
23 FIBER CEMENT SIDING PARAPET
3" = 1'-0"



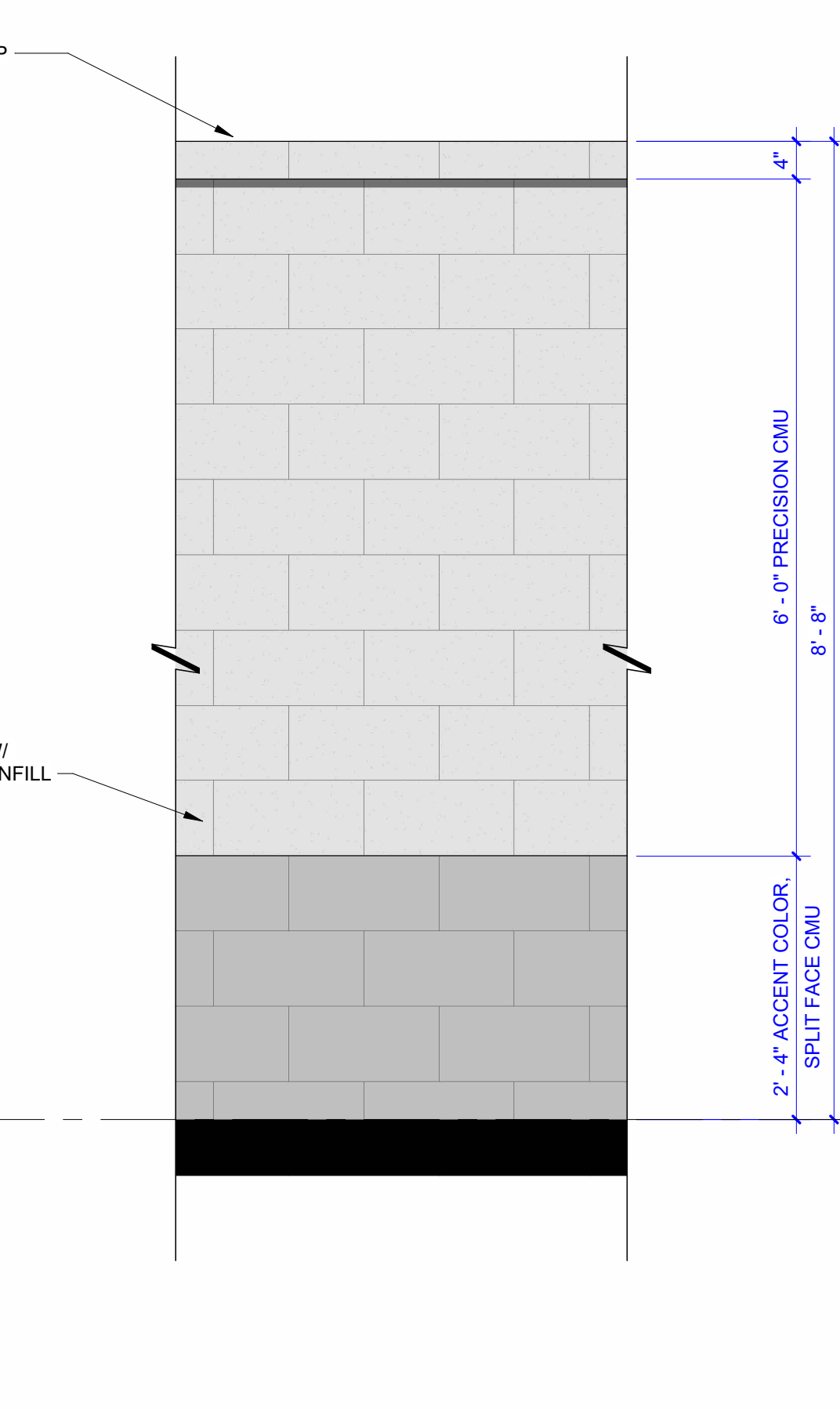
24 FIBER CEMENT SIDING SECTION
3" = 1'-0"



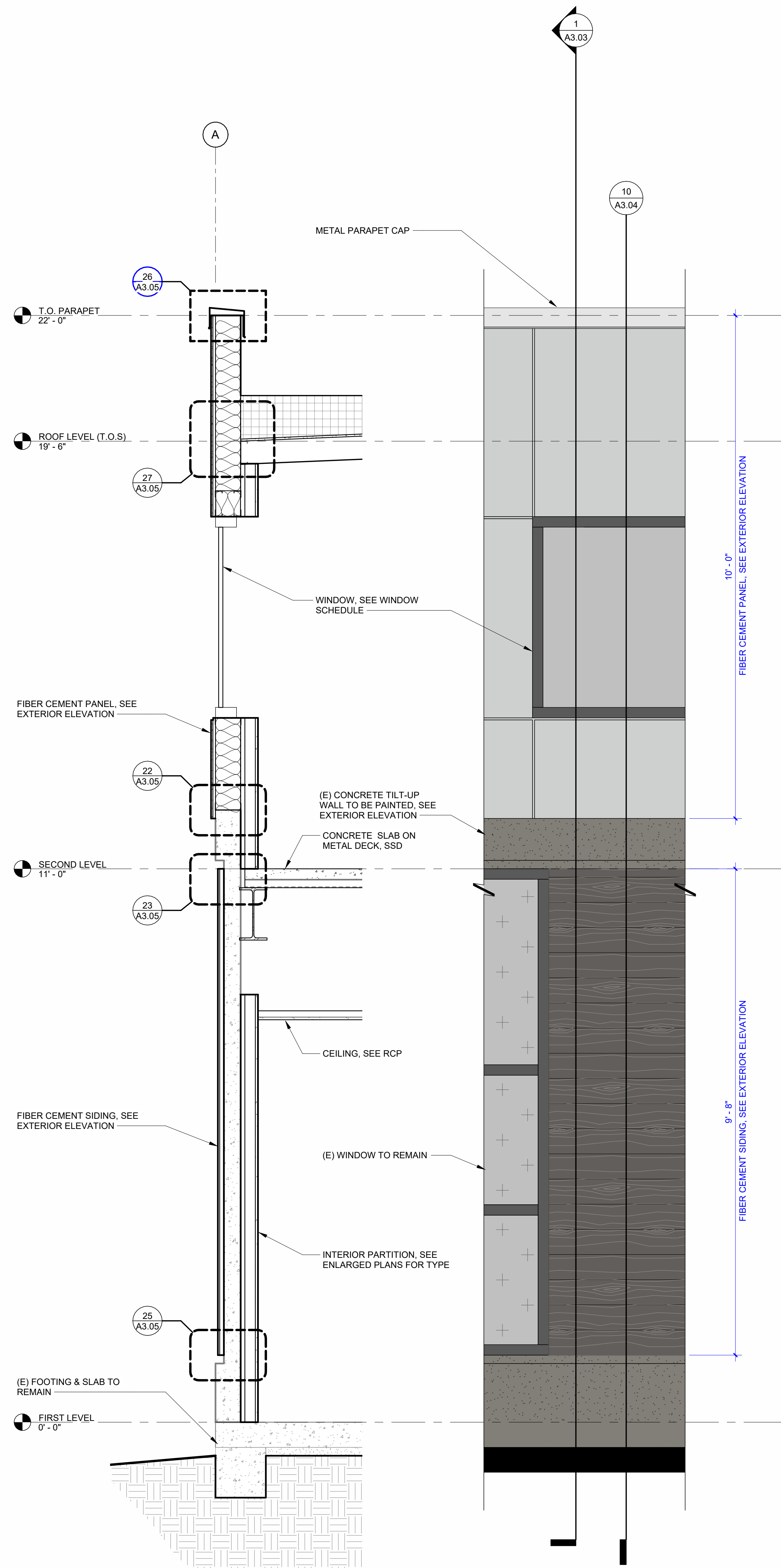
25 FIBER CEMENT SIDING BASE
3" = 1'-0"



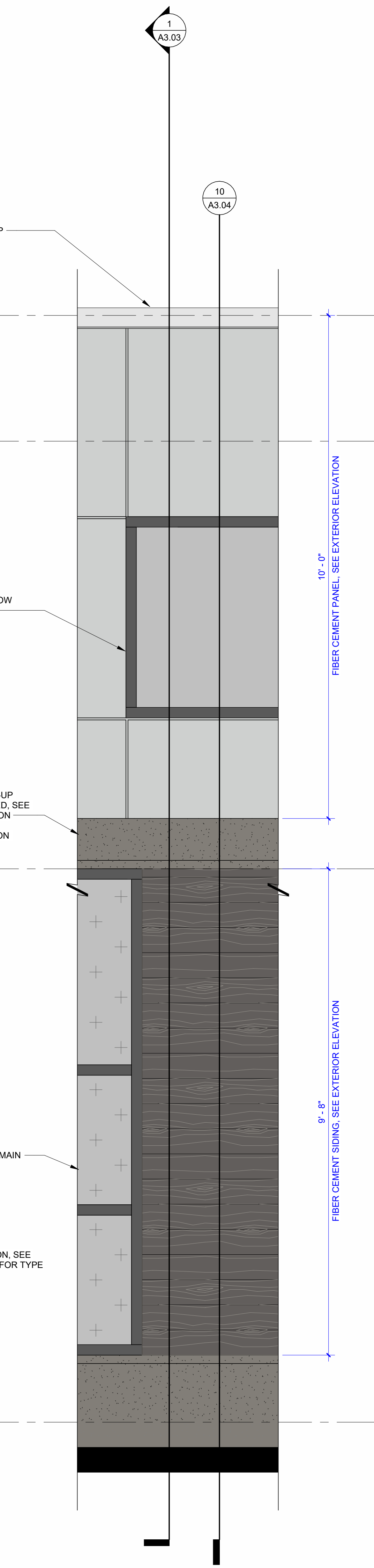
20 CMU WALL SECTION
3/4" = 1'-0"



15 CMU WALL ELEVATION
3/4" = 1'-0"



10 EXTERIOR WALL SECTION A
3/4" = 1'-0"



5 EXTERIOR WALL ELEVATION A
3/4" = 1'-0"



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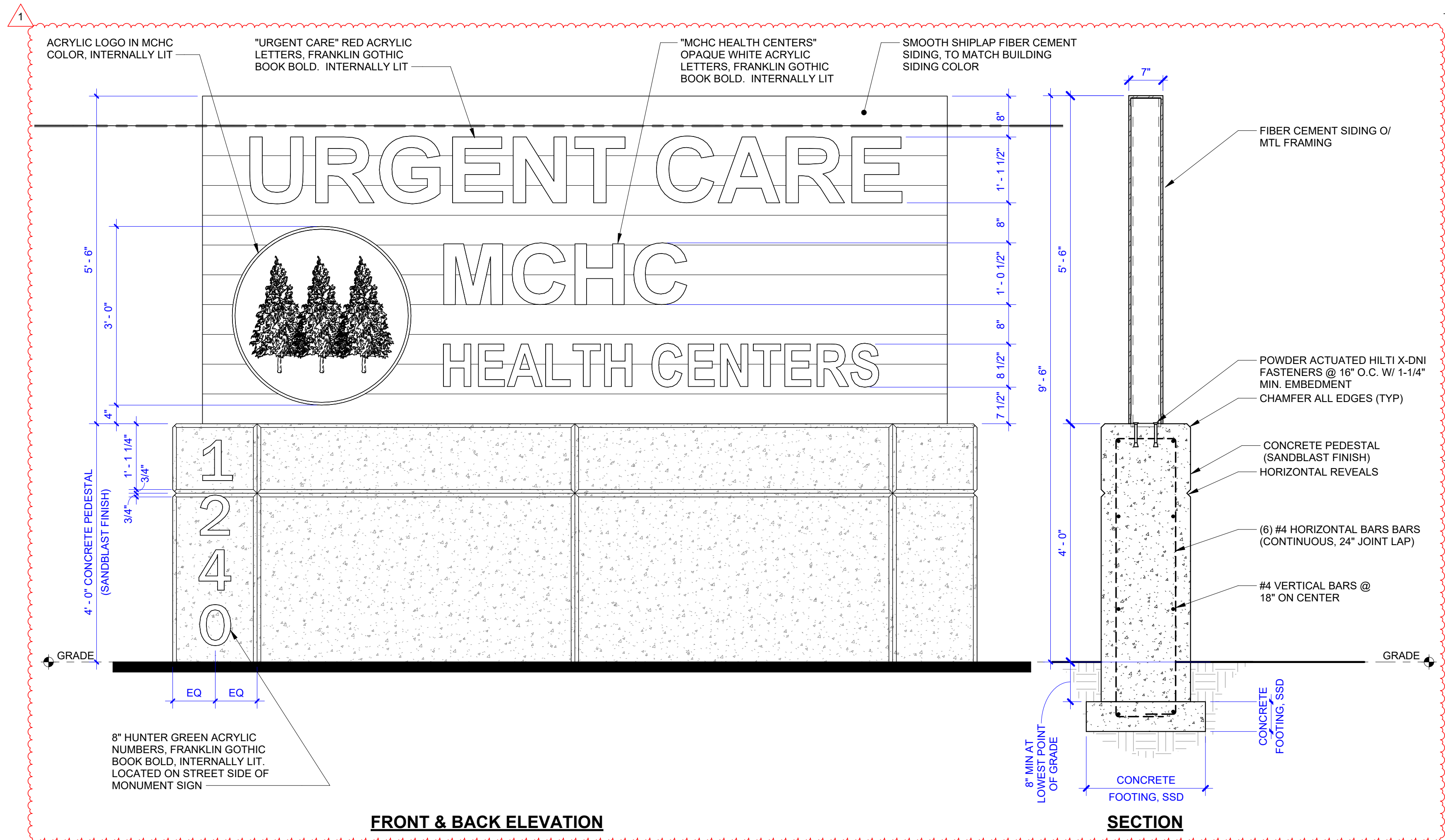


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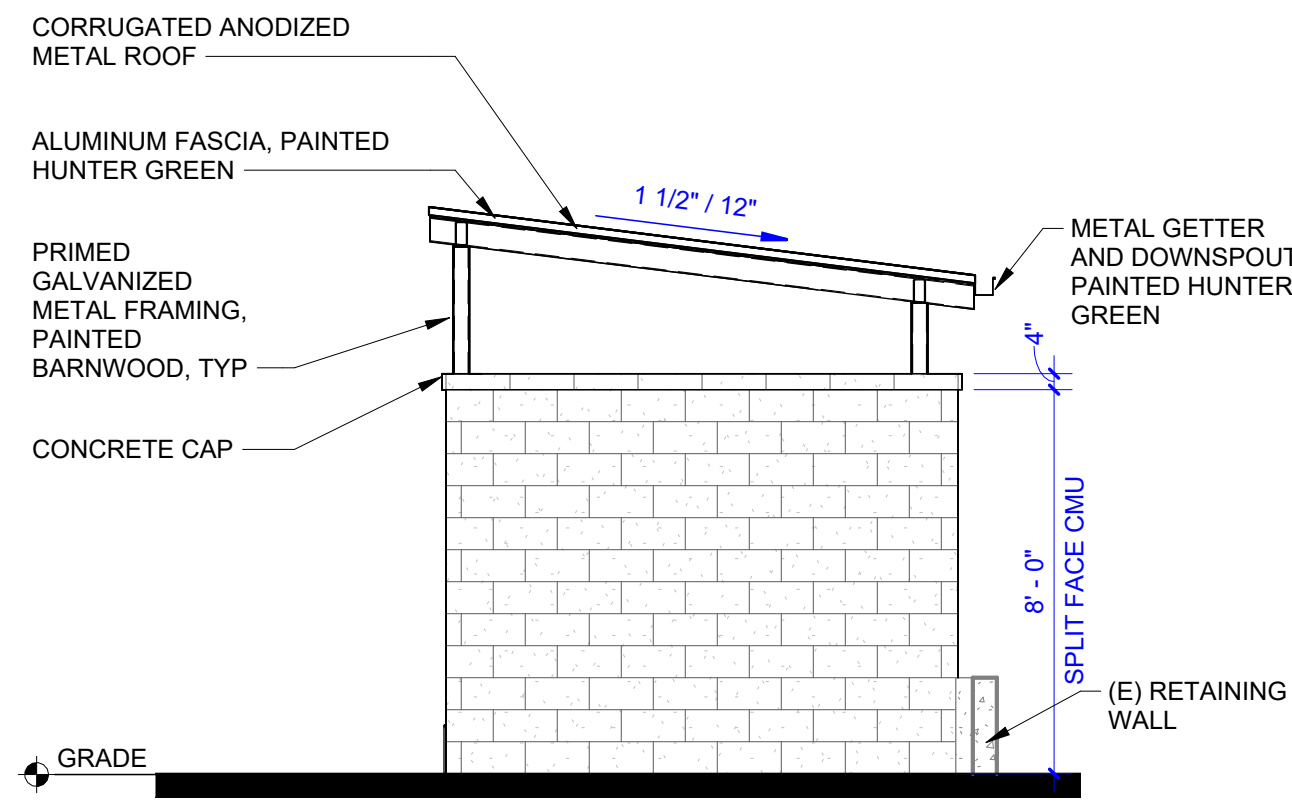
Revisions			
Delta	Date	Revisions	By
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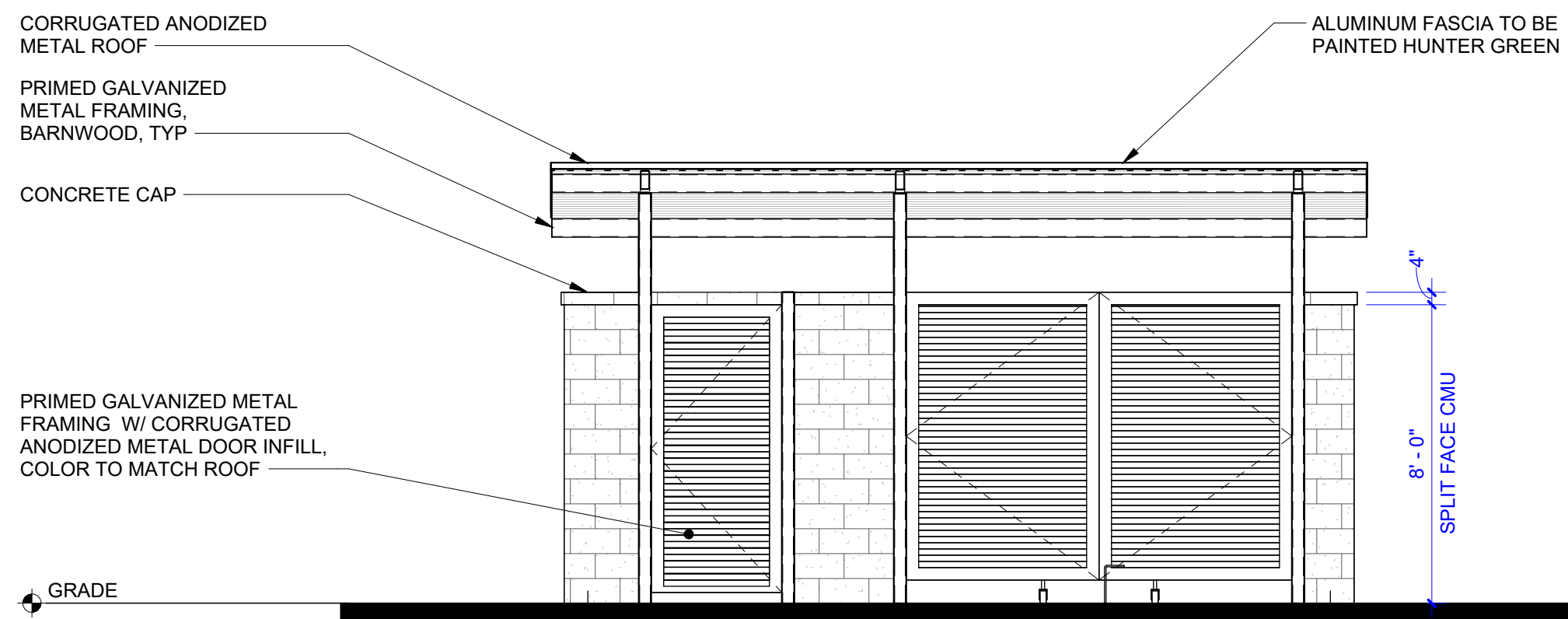
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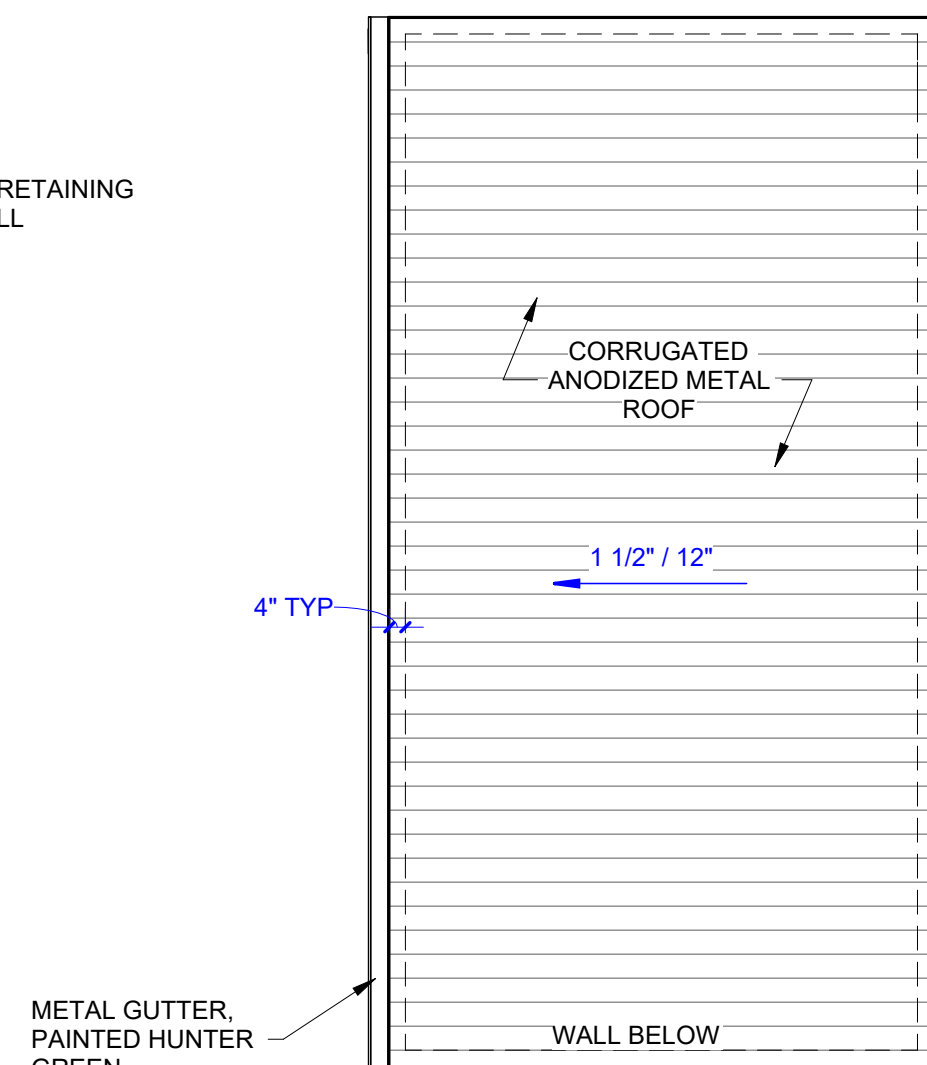
13 MONUMENT SIGN
3/4" = 1'-0"



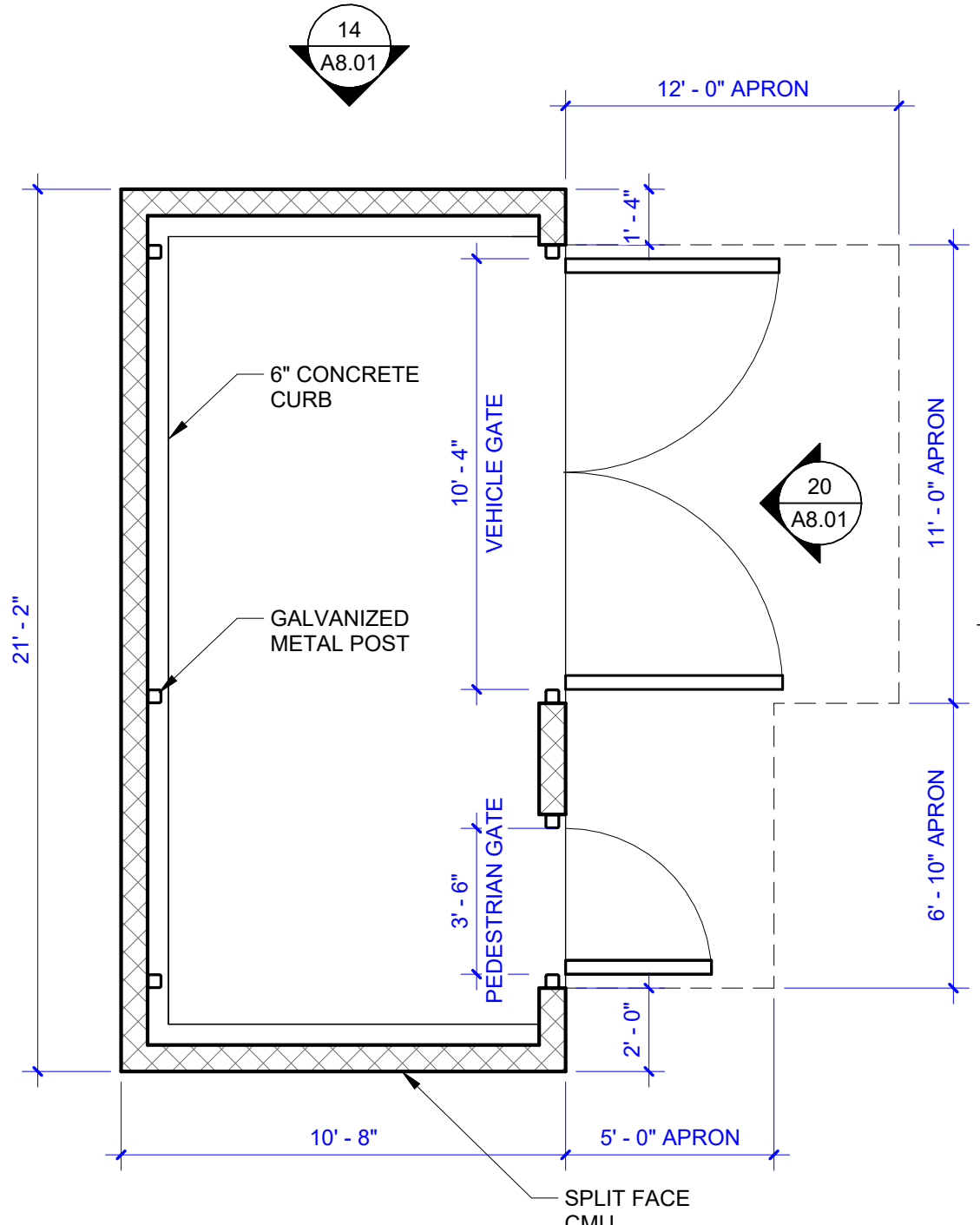
14 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"



20 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



10 TRASH ENCLOSURE ROOF PLAN
1/4" = 1'-0"



5 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

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Project
Urgent Care Clinic &
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Sheet Title
EXTERIOR DETAILS - SITE

Client Project Number:
Scale: As indicated
Drawn By: Author
Checked By: Checker
Issue Date: 10/17/2025
Revit Version: 2025

Sheet
A8.01
Sheet 2 of 200