



City of Ukiah

Community Development Department
Planning Division
300 Seminary Ave., Ukiah CA 95482
Email: planningdivision@cityofukiah.com
Phone: (707) 463 -6207

Planning Permit Application

PROJECT NAME: MCHC Urgent Care & Administration Building					
PROJECT ADDRESS/CROSS STREETS: 1240 Airport Park Boulevard, Ukiah, CA 95482				AP NUMBER(S): 180-080-74 and 180-080-75	
APPLICANT/AUTHORIZED AGENT: Kile Campbell, HYA		PHONE NO: (530)758-1270	FAX NO: N/A	E-MAIL ADDRESS: kcampbell@hy-arch.com	
APPLICANT/AUTHORIZED AGENT ADDRESS: 4602 2nd Street, Suite 3			CITY: Davis		STATE/ZIP: CA, 95618
PROPERTY OWNER IF OTHER THAN APPLICANT/AGENT: Mendocino Community Health Clinic		PHONE NO: (707)472-4620	FAX NO: N/A	E-MAIL ADDRESS: TWilliams@mchcinc.org	
PROPERTY OWNER ADDRESS IF OTHER THAN APPLICANT 333 Laws Avenue			CITY: Ukiah		STATE/ZIP: CA, 95482
HAS YOUR PROJECT RECEIVED A PRELIMINARY REVIEW? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
<input type="checkbox"/> AIRPORT LAND USE COMM. DETERMINATION REFERRAL 100.0800.611.003	\$	<input type="checkbox"/> REZONING – PLANNED DISTRICT 100.0800.611.001	\$	<input checked="" type="checkbox"/> USE PERMIT – AMENDMENT 100.0400.449.001	\$
<input type="checkbox"/> ANNEXATION 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT – AMENDMENT 100.0400.449.001	\$	<input type="checkbox"/> USE PERMIT – MAJOR 100.0400.449.001	\$
<input type="checkbox"/> APPEAL 100.0400.449.001	\$	<input checked="" type="checkbox"/> SITE DEVELOPMENT PERMIT – MAJOR 100.0400.449.001	\$	<input type="checkbox"/> USE PERMIT – MINOR 100.0400.449.001	\$
<input type="checkbox"/> GENERAL PLAN AMENDMENT 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT – MINOR 100.0400.449.001	\$	<input type="checkbox"/> VARIANCE – MAJOR 100.0400.449.001	\$
<input type="checkbox"/> MURAL PERMIT 100.0400.449.001	\$	<input type="checkbox"/> SPECIFIC/MASTER PLAN 100.0800.611.003	\$	<input type="checkbox"/> VARIANCE – MINOR 100.0400.449.001	\$
<input type="checkbox"/> PRE-DEVELOPMENT MEETING 100.0800.611.003	\$	<input type="checkbox"/> MINOR SUBDIVISION/TENTATIVE PARCEL MAP (4 OR FEWER LOTS) 100.0800.610.001	\$	<input type="checkbox"/> ZONING AMENDMENT MAP OR TEXT 100.0800.611.001	\$
<input type="checkbox"/> STAFF RESEARCH (MORE THAN 1 HOUR) 10023100.41153	\$	<input type="checkbox"/> MAJOR SUBDIVISION/TENTATIVE SUBDIVISION MAP (5 OR MORE LOTS) 100.0800.610.001	\$	<input type="checkbox"/> REZONING 100.0800.611.001	\$
<input type="checkbox"/> LOT LINE ADJUSTMENT OR MERGER 100.0800.610.001	\$	<input type="checkbox"/> OTHER	\$	<input type="checkbox"/> OTHER	\$
COUNTY CEQA FILING FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	MAJOR PERMIT DEPOSIT:	\$ 3000	FILING DATE:	09/05/2025
COUNTY CEQA (NEG DEC) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	MINOR PERMIT FEE:	\$	TOTAL AMOUNT PAID:	\$ 3000
COUNTY CEQA (EIR) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$	TOTAL FEE:	\$ Cost Recovery	RECEIPT NUMBER:	
APPLICATION NUMBER(S): 25-001114					

Recommendation: Prior to submitting an application, discuss your project with Staff to discover what fees (sewer, water, in-lieu park fees, traffic impact fees, etc.) may be required for your project. Also, ask about street tree requirements, required sidewalk repairs, drainage issues, storm water mitigation requirements, frontage improvements, etc.

Project Description

Please attach a written project description including summary of work (both interior and exterior for construction and operation) and/or business proposed. The purpose of the project description is to assist Staff in understanding the project. The project description will also be included in the Staff Report required to review (and ultimately approve or deny) the planning permit. Providing complete information will help expedite the project review process and in determining what additional information, if any, related to the project and required environmental review is required.

Environmental Review and Reports

Please be aware that projects are required to comply with the California Environmental Quality Act (CEQA). Projects will be reviewed by Staff for compliance with CEQA and Staff will determine the appropriate CEQA document to prepare for the project (exemption, negative declaration, etc.). In order to make this determination, specific reports (traffic, arborist, soils, etc.) and or additional information may be required.

Use Information

Please provide the following information related to the use of the site and building:

Description of Building & Site			
Parcel Size:	Building Size:	Number of Floors:	
Use of Building (check all that apply)	Description	Square Footage	Number of Units/Suites
<input checked="" type="checkbox"/> Office (business/professional)	Admin offices for MCHC	6,949 SF	
<input checked="" type="checkbox"/> Office (medical/dental)	Urgent Care Facility	7,205 SF	
<input type="checkbox"/> Retail			
<input type="checkbox"/> Light Industrial			
<input type="checkbox"/> Residential			
<input type="checkbox"/> Other:			
Operating Characteristics			
Days and Hours of Operation: Not yet determined			
Number of Shifts: Not yet determined	Days and Hours of Shifts: Not yet determined		
Number of Employees/Shift: Not yet determined			
Loading Facilities: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Type/Vehicle Size:		
Deliveries: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Type: USPS, UPS, Fedex	Number (day/week/month): 1-4/day	Time(s) of Day: Normal work hours
Outdoor areas associated with use? (check all that apply) <input type="checkbox"/> Yes <input type="checkbox"/> No	Sales area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Square Footage:	Unloading of deliveries: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Square Footage: 150	Storage: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Square Footage:
Noise Generating Use? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Description: Emergency generator - only on during power outages		

To Be Completed by Staff

General Plan Designation: AIP-PD	Zoning District: Mixed Use	Airport Land Use Designation: Zones 5 & 6
City's Architectural & Historic Inventory: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Age of Building: N/A	Demolition Policy: N/A
Hillside: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Flood Designation FIRM Map: N/A	Flood Designation Floodway Map: N/A
Tree Policies		
General Plan Open Space Conservation <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES GOAL/POLICY #:	Community Forest Management Plan <input type="checkbox"/> NO <input type="checkbox"/> YES GOAL/POLICY #:	
Landscaping and Streetscape Design Guidelines <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES GUIDELINE #:	Commercial Development Design Guidelines <input type="checkbox"/> NO <input type="checkbox"/> YES GUIDELINE #:	
Tree Protection and Enhancement Policy <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES NOTES:	Tree Planting and Maintenance Policy <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES NOTES:	
UCC: Street Tree Policy, Purpose and Intent <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES NOTES:	Other: <input checked="" type="checkbox"/>	
Notes		

Submittal Requirements

1. Items marked (X) are required for a complete application unless their deletion is approved by staff.
2. Other information may be required at the discretion of staff in order to fully evaluate the project and/or to conduct required environmental review for the project.
3. Please review the application packet prior to submittal to the City. Application packets that do not include the required materials may not be accepted for processing or may be deemed "Incomplete."

Submittal Document	Application Type								
	LLA/VM	GPA	PRELIM	REZ	REZ-PD	SDP	Sub/TM	UP	VAR
Project Description	X	X	X	X	X	X	X	X	X
Building Elevations (1)			X		X	X		X	X
Floor Plan			X		X	X		X	X
Grading and Drainage Plan and SUSMP (7)					X	X	X		
Landscape Plan (2)			X CONCEPT		X	X			X
Site Plan (3)	X	X	X	X	X	X		X	X
Details – Architectural						X			
Details – Fence					X	X		X	
Details – Sign					X	X		X	
Site Contours (4)					X	X	X		
Street Sections							X		
Tentative Map (6)							X		
Preliminary Title Report	IF REQUESTED			X			X		
Colors & Materials Board			X CONCEPT		X	X			
Number of Plan Sets – Initial Submittal (5)									

- (1) **Building Elevations.** Drawing must include all elevations (front, rear, and sides) and identify materials and colors. One set of colored drawings is required.
- (2) **Landscape Plan.** Plan must show all proposed trees, shrubs, and ground covers. Location, size and species must be indicated.
- (3) **Site Plan.** Must be prepared to scale and include: a north arrow, all property lines, adjoining streets, creeks, ponds, drainage ditches, existing curb, gutter, and sidewalk, existing and proposed buildings (with square footage noted), parking spaces, all existing trees, existing and proposed fences, buildings on adjacent parcels, existing fire hydrants within 600- feet, access and utility easements (with widths), location and width of all easements (access, drainage, utility, etc.) location of existing and proposed trash enclosures, and the percentage of average slope of the property. Site contours may also be required (see table above).
- (4) **Site Contours.** When required, site contours should be indicated on the site plan and grading plan. A separate site contour plan is not required.
- (5) Staff will determine the number of plans needed for the initial submittal. Once the application is complete, the number of plans sets required for the public hearing will be determined by staff. Plans are required to be provided prior to the hearing.
- (6) See Minor Subdivision Submittal Requirements or Major Subdivision Submittal Requirements handout for Tentative Map requirements.
- (7) **SUSMP** – Standard Urban Storm Water Mitigation Plan – Required unless specifically exempt (Consult with Public Works Staff)

LLA – Lot Line Adjustment
 REZ – Rezoning
 TM – Tentative Map
 VAR – Variance

VM-Voluntary Merger
 REZ-PD- Rezoning to Planned Development
 Sub- Subdivision
 UP – Use Permit

Prelim – Preliminary Review
 SDP – Site Development Permit
 GPA- General Plan Amendment

September 3, 2025

**Community Development Department
Planning Division
300 Seminary Avenue, Ukiah, CA, 95482
Email: planningdivision@cityofukiah.com
Phone: (707) 463 -6207**

Re: 1240 Airport Park Boulevard: MCHC Urgent Care & Administration Building – Project Description

To Whom it May Concern:

The two parcels at 1240 Airport Park Boulevard in Ukiah, APN: 180-080-74 and 180-080-75, was purchased by the Mendocino Community Health Clinic, Health Centers for the purpose of converting it to a new Urgent Care at ground level and building a second mezzanine level for the purposes of housing their administrative offices. The original building was built as a steel pre-fab building with partial height concrete tilt-up exteriors walls, a 20'-0" single-story building, and laid out and operated as a veterinary clinic.

Previous discussions with the City of Ukiah Planning Division have directed MCHC to perform a lot merger, to combine the two parcels. A Conditional Use Permit will also be required for the planning approval, due to the change of use from a veterinary clinic to a health care and office facility – Urgent Care and Administrative Offices.

Site evaluations and analysis of the existing conditions, by the architect and engineering team, have confirmed the as-built conditions of the building. We are proposing the addition of a second floor, within the 20'-0" floor-to-floor interior space, as well as a main public Urgent Care entry towards Airport Park Boulevard and a rear staff and administrative entrance and outdoor patio space towards the West and "back-side" of the parcel. The site has been designed to best fit the most parking, provide a patient loading zone, and still maintain the natural landscape, trees, and shrubs.

The first floor will provide a 7-exam room urgent care facility which will provide imaging services, support spaces for medical staff, and abide by the required OSHPD 3 code requirements. The second floor will contain a large conference room, multiple enclosed and open office workstations, as well as staff support spaces.

In an effort, to maintain the overall current height of the building, we are proposing to place the mechanical and exterior compatible electrical equipment in an exterior secure mechanical yard. To place mechanical units on the rooftop would require very tall screens (11'-0" + tall) to provide visual aesthetics and a great deal of additional structural supports.

Additionally, MCHC is considering ways to implement alternative energies, into the project, and will wish to build-in as much green and clean energy design as possible – solar panels, including parking solar



Community Development Department - Planning Division

MCHC Urgent Care & Administrative Building

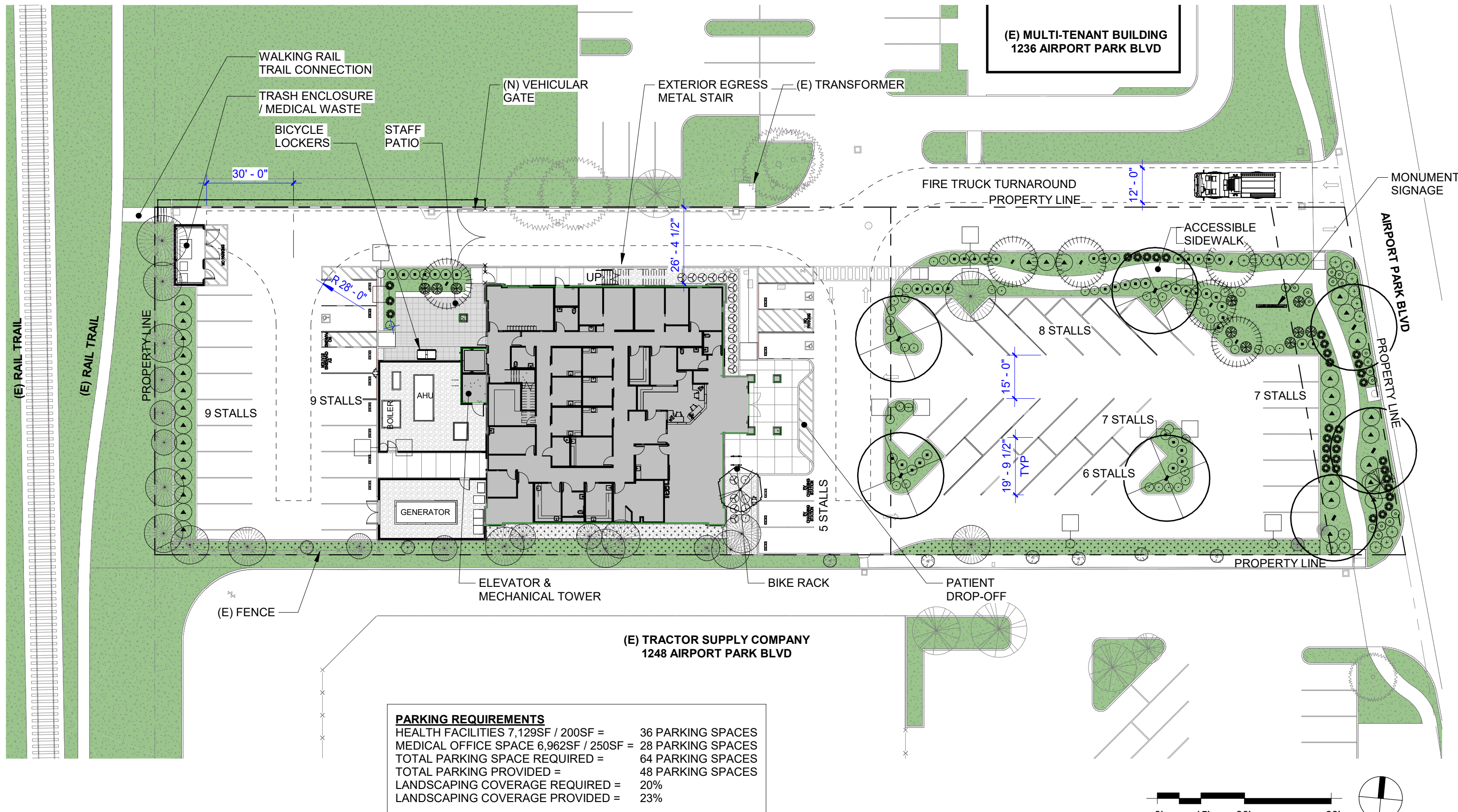
August 29, 2025

shade structures would be requested for consideration, as well as potential battery storage. The options for this layout are currently being evaluated by a green energy consultant.

Thank you for your consideration,

A handwritten signature in blue ink that reads "Kile Campbell".

Kile Campbell
Associate
HY Architects



PROPOSED SITE PLAN

Mendocino Community Health Centers

MCHC HEALTH CENTERS

Urgent Care Clinic & Administration Building

1240 Airport Park Blvd Ukiah, CA 95482

APN: 180-080-74 & 180-080-75



MCHC
HEALTH CENTERS

Revisions	Delta	Date	Revisions	By

GENERAL NOTES	APPLICABLE CODES	OWNER	EXISTING CONDITIONS	INDEX OF DRAWINGS
<div>1. ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING CODES LISTED IN "APPLICABLE CODES" AND ALL GOVERNING LOCAL CODES AND REGULATIONS.</div> <div>2. THE OWNER / ARCHITECT HAVE OBTAINED APPROVAL OF THE PRIMARY AUTHORITY HAVING JURISDICTION (CITY BUILDING PERMIT). CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER REQUIRED PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.</div> <div>3. UNLESS STATED OTHERWISE IN THE SPECIFICATIONS, SPECIAL INSPECTION IS REQUIRED FOR SHOP AND FIELD STRUCTURAL WELDING.</div> <div>4. WHERE INCORPORATED IN THE CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF CITY BUILDING PERMIT PRE-APPROVALS FOR PRE-APPROVED ITEMS OR SYSTEMS INCORPORATED INTO THE CONSTRUCTION AND DISTRIBUTE TO OWNER'S REPRESENTATIVE, ARCHITECT AND INSPECTOR.</div> <div>5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL MATERIALS AND WORK DESCRIBED, DEPICTED OR DETAILED WITHIN THESE DOCUMENTS REGARDLESS OF THE LOCATION OF THAT MATERIAL OR WORK WITHIN THE DOCUMENTS OR OMISSION (WHETHER DELIBERATE OR ACCIDENTAL) OF THAT MATERIAL OR WORK BY A SUBCONTRACTOR ON HIS/HER BID.</div> <div>6. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CONSIDER THESE DOCUMENTS IN THEIR ENTIRETY. DISCREPANCIES OR CONTRADICTIONS BETWEEN PORTIONS OF THESE DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AT LEAST 72 HOURS PRIOR TO BID OPENING FOR CLARIFICATION. OTHERWISE, THE MOST RESTRICTIVE REQUIREMENT SHALL BE IN FORCE AT NO ADDITIONAL COST TO THE OWNER.</div> <div>7. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE, IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. CONTRACTOR ESTABLISH PROCEDURES TO ASSURE ALL PERSONS ENTERING A POSSIBLY HAZARDOUS AREA, INCLUDING WORKERS, SUBCONTRACTORS, OTHER CONTRACTORS, VISITORS, AND OTHERS ARE AWARE OF APPROPRIATE / REQUIRED SAFETY PROCEDURES. COMPLY WITH LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, INCLUDING OSHA REQUIREMENTS AND WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.</div> <div>8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY FENCING AND GATES, SIGNAGE, SECURITY LIGHTING OR OTHER SECURITY AND CONTROL MEASURES NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC AND FACILITY USERS UNTIL THE COMPLETION OF THE WORK.</div> <div>9. THE CONTRACTOR IS RESPONSIBLE TO FOR PROTECTION OF ADJACENT PROPERTY AND SHALL REPAIR AND / OR REPLACE ALL PROPERTY DAMAGED DURING THE COURSE ON THE WORK.</div> <div>10. THE CONTRACTOR SHALL LIMIT HIS / HER ACTIVITY TO THE AREA DESCRIBED WITHIN THE DOCUMENTS UNLESS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.</div> <div>11. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY ITEMS DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK. INSTALLATION SHALL MATCH EXISTING IN KIND, QUALITY, AND PERFORMANCE.</div> <div>12. WHERE EXISTING CONSTRUCTION AND FINISHES ARE CUT, DAMAGED, OR REMODELED, PATCH WITH MATERIALS TO MATCH IN KIND, QUALITY, PERFORMANCE CHARACTERISTICS, AND APPEARANCE.</div> <div>13. ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLR" MEAN CLEAR DIMENSION TO FACE OF FINISH. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND.</div> <div>14. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND. VERIFY DIMENSIONS OF ALL OWNER-FURNISHED ITEMS, INCLUDING FURNITURE AND EQUIPMENT, TO ENSURE PROPER COORDINATION WITH CONSTRUCTION.</div> <div>15. ALL ITEMS IN THESE DRAWINGS ARE NEW UNLESS OTHERWISE NOTED.</div> <div>16. ALL UTILITIES REQUIRED FOR THE CONTINUOUS OPERATION OF ALL OCCUPIED EXISTING FACILITIES SHALL BE MAINTAINED IN SERVICE AT ALL TIMES. ANY SHUT DOWNS FOR NEW CONNECTIONS MUST BE COORDINATED WITH THE OWNER'S REPRESENTATIVE TWO WEEKS PRIOR TO THE REQUESTED SHUT DOWN.</div>	<div>ALL WORK PERFORMED UNDER THIS CONTRACT IS TO CONFORM TO THE FOLLOWING CODES AND REGULATIONS:</div> <div>2022 CALIFORNIA BUILDING ADMINISTRATIVE CODE, PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)</div> <div>2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, CCR BASED ON THE 2021 INTERNATIONAL BUILDING CODE (IBC) WITH 2021 CALIFORNIA AMENDMENTS)</div> <div>2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24, CCR BASED ON THE 2020 NATIONAL ELECTRICAL CODE (NEC) WITH 2020 CALIFORNIA AMENDMENTS)</div> <div>2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, CCR BASED ON THE 2021 UNIFORM MECHANICAL CODE (UMC) WITH 2021 CALIFORNIA AMENDMENTS)</div> <div>2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, CCR BASED ON THE 2021 UNIFORM PLUMBING CODE (UPC) WITH 2021 CALIFORNIA AMENDMENTS)</div> <div>2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS (ENERGY CODE), PART 6, TITLE 24 CCR</div> <div>2022 SAFETY CODE FOR ELEVATORS AND ESCALATORS (ASME A17.1-2019)</div> <div>2022 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, CCR BASED ON THE 2021 INTERNATIONAL FIRE CODE (IFC) WITH 2022 CALIFORNIA AMENDMENTS)</div> <div>2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 CCR (2021 IEB CODE AND 2022 CALIFORNIA AMENDMENTS)</div> <div>2022 CALIFORNIA GREEN BUILDING CODE (CALGreen), PART 11, TITLE 24, CCR</div> <div>2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR</div> <div>TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS</div> <div>2010 ADA STANDARDS FOR ACCESSIBLE DESIGN</div> <div><div><div>NFPA 13</div><div>INSTALLATION OF SPRINKLER SYSTEMS</div><div>2022 EDITION</div></div><div><div>NFPA 14</div><div>INSTALLATION OF STANDPIPE SYSTEMS</div><div>2019 EDITION</div></div><div><div>NFPA 17</div><div>STANDARD FOR DRY CHEMICAL EXTINGUISHING SYS.</div><div>2021 EDITION</div></div><div><div>NFPA 17A</div><div>STANDARD FOR WET CHEMICAL SYSTEMS</div><div>2021 EDITION</div></div><div><div>NFPA 20</div><div>INSTALLATION OF STATIONARY PUMPS</div><div>2019 EDITION</div></div><div><div>NFPA 24</div><div>INSTALLATION OF PRIVATE FIRE MAINS</div><div>2019 EDITION</div></div><div><div>NFPA 72</div><div>NATIONAL FIRE ALARM AND SIGNALING CODE</div><div>2022 EDITION</div></div><div><div>NFPA 80</div><div>FIRE DOORS AND OTHER OPENING PROTECTIVES</div><div>2019 EDITION</div></div><div><div>NFPA 92</div><div>STANDARD FOR SMOKE CONTROL SYSTEMS</div><div>2018 EDITION</div></div><div><div>NFPA 253</div><div>CRITICAL RADIANT FLUX OF FLOOR COVERING SYS</div><div>2019 EDITION</div></div><div><div>NFPA 2001</div><div>CLEAN AGENT FIRE EXTINGUISHING SYSTEM</div><div>2019 EDITION</div></div></div> <div>REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2022 CBC CHAPTER 35 AND 2022 CFC CHAPTER 45</div> <div>THE ABOVE CODES AND REGULATIONS REFER TO THE LATEST EDITION OR REVISION IN FORCE ON THE DATE OF THE CONTRACT, UNLESS OTHERWISE STATED. NOTINGS ON THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK THAT IS CONTRARY TO THE LISTED CODES AND REGULATIONS, OR OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATIONS WHICH MAY BE APPLICABLE</div> <div>COMPLIANCE WITH CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION, AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.</div>	<div>MCHC HEALTH CENTERS</div> <div>333 LAWS AVENUE UKIAH, CA 95482 CONTACT: TIFFANY WILLIAMS</div> <div>333 LAWS AVENUE UKIAH, CA 95482 CONTACT: STEVEN ABRAMSON</div> <div>TEL: (510) 529-9437 FAX: (510) 529-9437 EMAIL: TWILLIAMS@MCHCINC.ORG</div> <div>TEL: (510) 529-9437 FAX: (510) 529-9437 EMAIL: ABRAMSONS2024@GMAIL.COM</div> <div>CONSULTANTS</div> <div>ARCHITECT</div> <div>HIBSER YAMAUCHI ARCHITECTS, INC. 4602 2ND STREET, SUITE 3 DAVIS, CA 95618 CONTACT: KILE CAMPBELL</div> <div>CIVIL / LANDSCAPE</div> <div>SHARRAH DUNLAP SAWYER, INC 6590 LOCKHEED DRIVE REDDING, CA 96002 CONTACT: MIKE DORMER</div> <div>STRUCTURAL</div> <div>KAM YAN & ASSOCIATES 433 HEGENBERGER ROAD, SUITE 204 OAKLAND, CA 94621 CONTACT: DOUG DENG</div> <div>MECHANICAL / PLUMBING</div> <div>WESTON & ASSOCIATES 601 UNIVERSITY AVENUE, SUITE 200 SACRAMENTO, CA 95825 CONTACT: ADAM DAVIS</div> <div>ELECTRICAL / COMMUNICATIONS</div> <div>EDGE ELECTRICAL CONSULTING 400 R STREET, SUITE 333 SACRAMENTO, CA 95811 CONTACT: DONNY LEE</div> <div>TEL: (530) 758-1270 FAX: (530) 758-4789</div> <div>TEL: (530) 221-1792 FAX: (530) 221-8369</div> <div>TEL: (510) 562-0581 FAX: (510) 562-0584</div> <div>TEL: (916) 482-0820</div> <div>TEL: (916) 256-2460 FAX: (510) 775-3836</div>	<div>1. TYPE OF EXISTING CONSTRUCTION : III-B</div> <div>1. TYPE OF EXISTING CONSTRUCTION : III-B</div> <div>2. EXITING NUMBER OF FLOORS : 1</div> <div>3. NEW NUMBER OF FLOORS : 2</div> <div>3. NUMBER OF BASEMENTS : NONE</div> <div>4. FULLY SPRINKLERED BUILDING : YES</div> <div>5. EXISTING OCCUPANCY GROUP : B</div> <div>6. NEW OCCUPANCY GROUP : B</div> <div>7. AREA OF WORK : 14,144 SF</div>	<div>A0.01 TITLE SHEET</div> <div>A1.02 SITE PLAN</div> <div>C1 PRELIMINARY GRADING & DRAINAGE SHEET</div> <div>C2 PRELIMINARY UTILITY SHEET</div> <div>L1 PLANTING PLAN</div> <div>E1.01 OVERALL SITE PLAN - ELECTRICAL</div> <div>E1.02 OVERALL SITE PLAN - PHOTOMETRIC</div> <div>A2.02 OVERALL FIRST FLOOR PLAN - REMODEL</div> <div>A2.03 OVERALL SECOND FLOOR PLAN - REMODEL</div> <div>A3.01 EXTERIOR ELEVATIONS</div> <div>A3.02 EXTERIOR ELEVATIONS</div> <div>A3.03 BUILDING SECTIONS</div> <div>A8.01 EXTERIOR DETAILS - SITE</div> <div>A3.04 EXTERIOR PERSPECTIVE RENDERINGS</div> <div>A3.05 WALL SECTIONS & DETAILS</div>

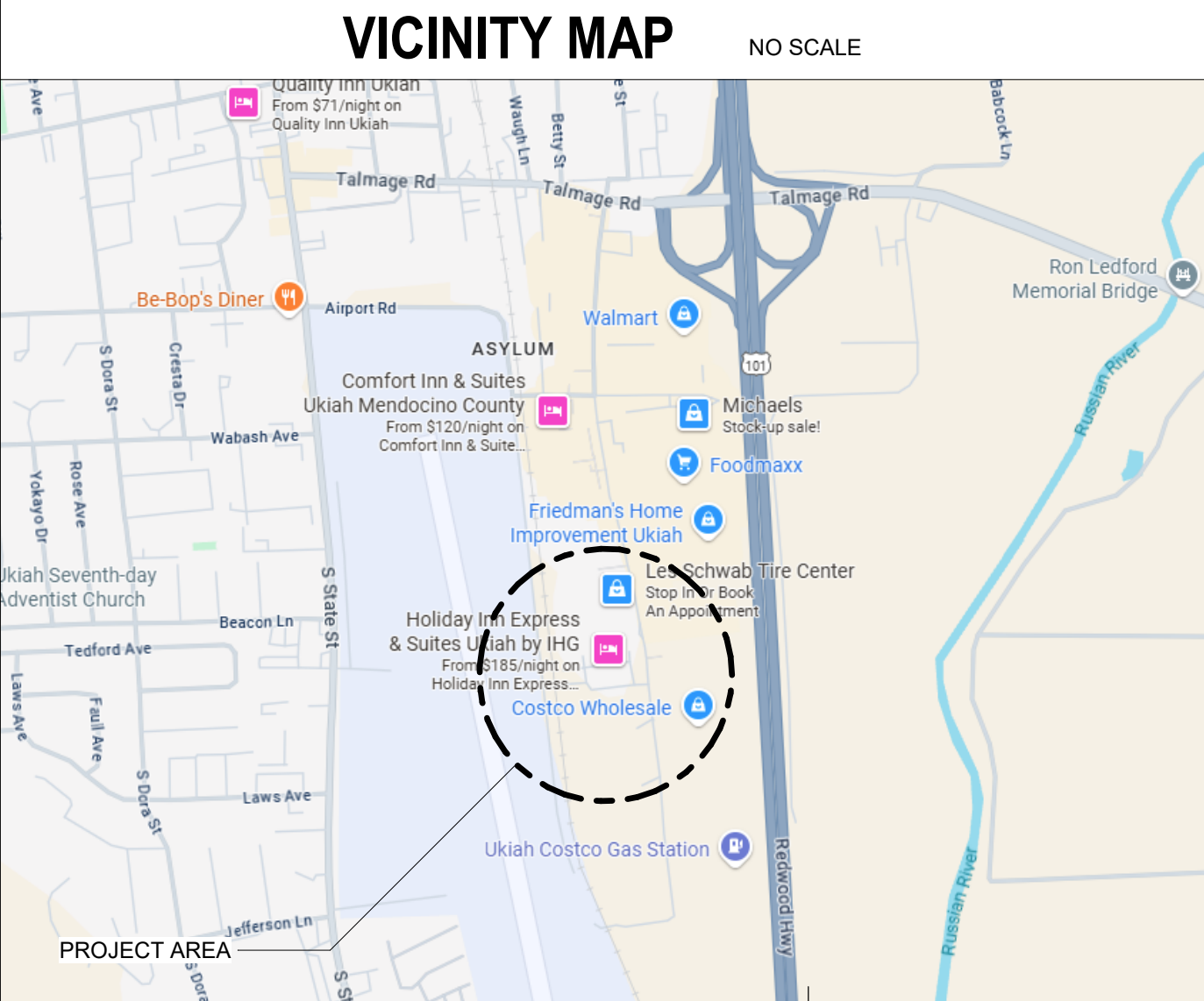
NOT FOR CONSTRUCTION

PLANNING
PACKAGE

AGENCY APPROVAL

SCOPE OF WORK

CONVERT EXISTING 7,129 SF VETERINARIAN CLINIC BUILDING INTO MENDOCINO COMMUNITY HEALTH CENTERS NEW URGENT CARE AND ADMINISTRATIVE BUILDING.



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HY HIBSER YAMAUCHI
Architects, Inc.
4602 2nd Street, Suite 3
Davis, CA 95618
530.758.1270 tel | 530.758.4789 fax

HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
TITLE SHEET

Client Project Number:	Sheet
Scale: 12" = 1'-0"	A0.01
Drawn By: Author	
Checked By: Checker	
Issue Date: 09.08.2025	
Revit Version: 2023	Sheet 1 of 200



IF THIS SHEET IS NOT 30"x42", IT IS
A REDUCED PRINT SCALE ACCORDINGLY

LANDSCAPE PLANTS



*SEE LANDSCAPE DRAWING FOR MORE INFORMATION

PARKING ANALYSIS

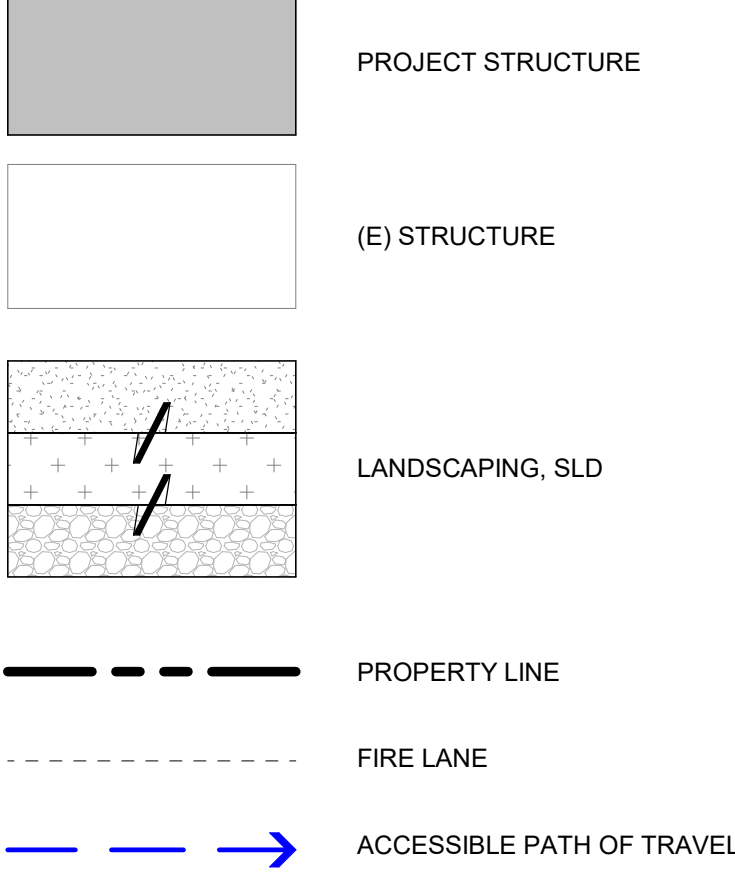
PARKING SPACES PROVIDED:
MEDICAL CLINIC (1 PARKING SPACE PER 200 SF)
7,197 SF / 200 =
OFFICE 1 PARKING SPACE PER 250 SF)
6,958 SF / 250 =
TOTAL REQUIRED PARKING SPACE:
PARKING SPACES PROVIDED TO REQ'D:
REQUIRED ACCESSIBLE PARKING SPACES:
(51 TO 75 - PER CBC 11B-28.2)
REQUIRED CLEAN-AIR VEHICLE PARKING SPACE
(51 TO 75 - PER CGBSC 5.106.5.3)
REQUIRED BICYCLE PARKING (PER CGBSC 5.106.4)
SHORT TERM (5% OF REQUIRED PARKING):
LONG TERM (5% OF REQUIRED PARKING):
EMERGENCY VEHICLE FIRE LANE:
TOTAL AREA OF PARKING:

51 PARKING SPACES
36 PARKING SPACES
28 PARKING SPACES
64 PARKING SPACES
51/64 SPACES
3 PARKING SPACES
3 EVCS WITH EVSE
13 EVCS
4
4
12' - 0" WIDE
23,629 SF

BUILDING INFORMATION

ADDRESS: 1240 AIRPORT PARK BLVD UKIAH, CA
1246 AIRPORT PARK BLVD UKIAH, CA
PARCEL NUMBER: 180-08-074
180-08-075
ZONE: PLANNING DEVELOPMENT COMBINING (PD-COMMERCIAL)
LOT AREA: 50,537 ± SF / 1.16 ACRES
BUILDING COVERAGE: 6,958 SF (14%)
LANDSCAPE COVERAGE: 10,107 SF (10%)
EXISTING FLOOR AREA: 7,000 SF
FIRST FLOOR AREA: 7,188 SF
SECOND FLOOR AREA: 6,958 SF
TOTAL FLOOR AREA: 14,144 SF
CONSTRUCTION TYPE: III-B
BUILDING HEIGHT: 36' - 4"
OCCUPANCY TYPE: B
FIRE PROTECTION: FULLY SPRINKLER AND FIRE ALARM SYSTEM

LEGEND



PLANNING GENERAL NOTES

1. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. VERIFY SLOPE W/ 24" SMART LEVEL.
2. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 60".
3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.



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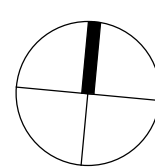
HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
SITE PLAN

Client Project Number:
Scale: As indicated
Drawn By: Author
Checked By: Checker
Issue Date: 09.08.2025
Revit Version: 2023
Sheet
A1.02
Sheet 2 of 200





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3. REFER TO C, E, & L SERIES SHEETS FOR ADDITIONAL INFORMATION.

PARTITION LEGEND

NOTE: FOR ANY PARTITION THAT IS NOT TAGGED ON THE PLAN, REFER TO ITS CORRESPONDING GRAPHIC IN THIS WALL LEGEND TO DETERMINE ITS TYPE

EXISTING WALL & PARTITION TYPES:

- (E) EXTERIOR WALL TO REMAIN
- (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
- PARTIAL HEIGHT WALLS

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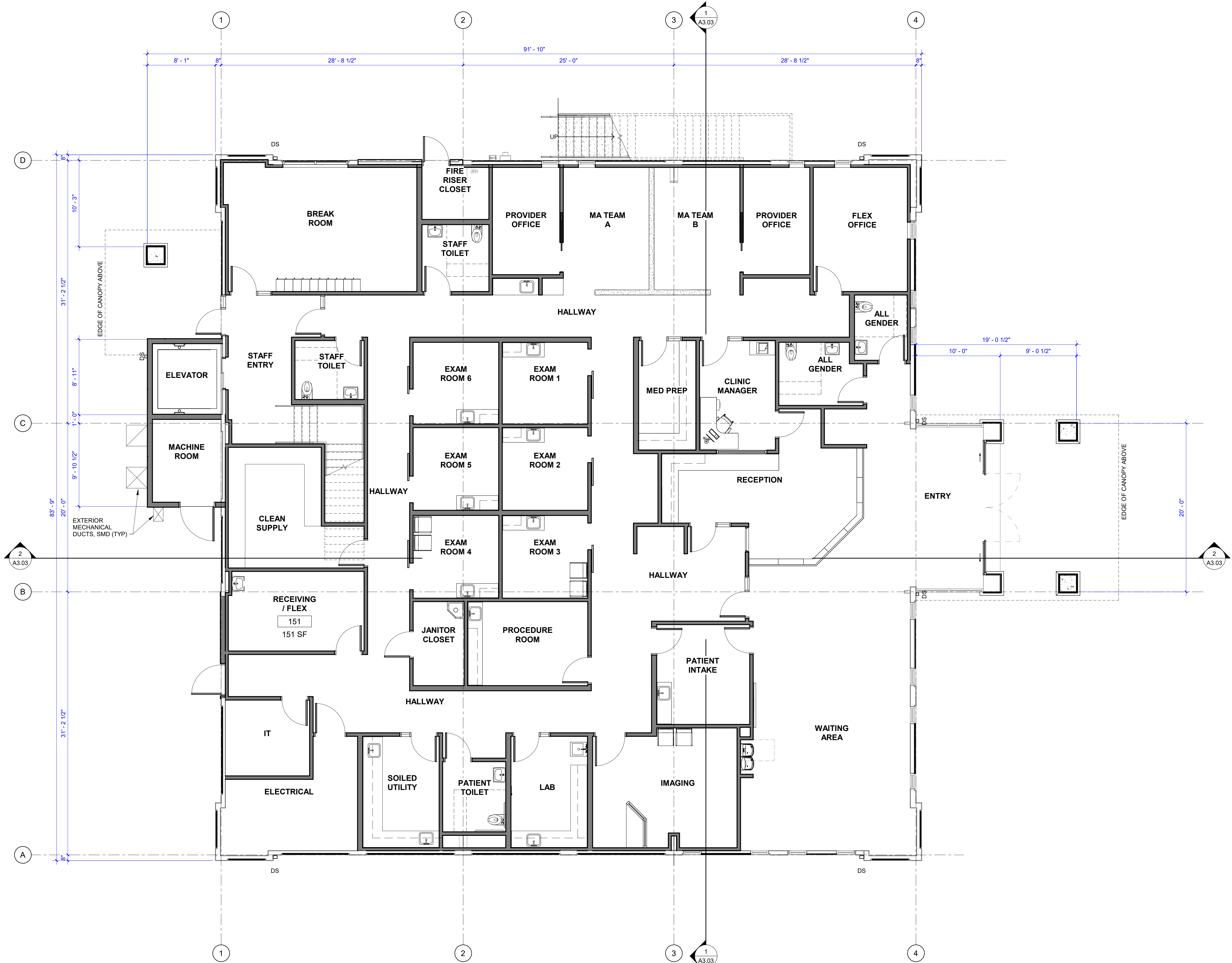
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Project
Urgent Care Clinic &
Administration Building

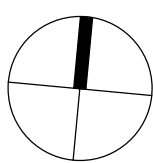
Sheet Title
OVERALL FIRST FLOOR PLAN
- REMODEL

Client Project Number:
Scale: As indicated
Drawn By: Author
Checked By: Checker
Issue Date: 09.08.2025
Revit Version: 2023
Sheet
A2.02
Sheet 2 of 200



1 OVERALL FIRST FLOOR PLAN - REMODEL

3/16" = 1'-0"



C:\Users\kcampbell\Documents\6257 MCHC-Airport Park Urgent Care Option 2_R05_kcampbell\MLD.rvt 9/3/2025 5:23:56 PM



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PARTITION LEGEND

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EXISTING WALL & PARTITION TYPES:

- (E) EXTERIOR WALL TO REMAIN
- (N) NON-RATED FIRE-RESISTIVE PARTITION W/ UNPROTECTED OPENINGS, TYP UON.
- PARTIAL HEIGHT WALLS

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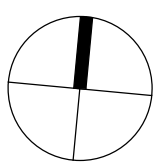
Sheet Title
OVERALL SECOND FLOOR
PLAN - REMODEL

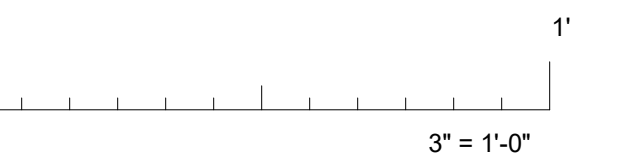
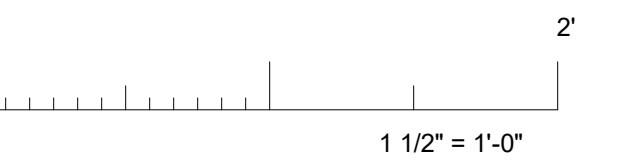
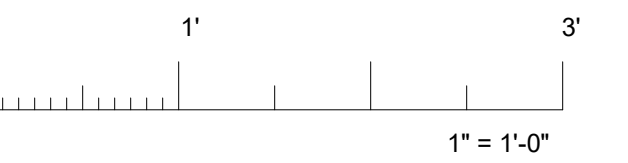
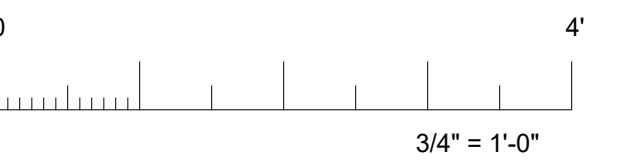
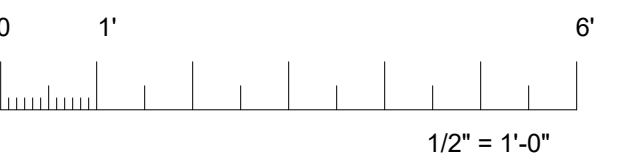
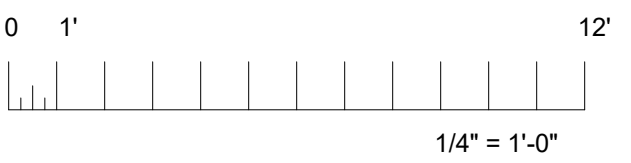
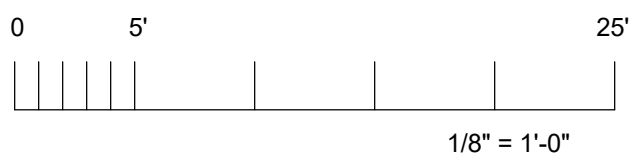
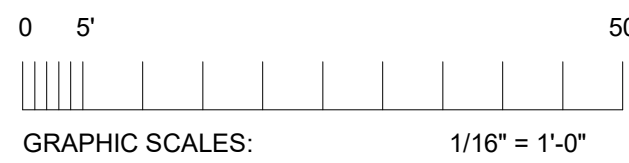
Client Project Number:
Scale: As indicated
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Sheet
2 of 200

A2.03

1 OVERALL SECOND FLOOR PLAN - REMODEL

3/16" = 1'-0"





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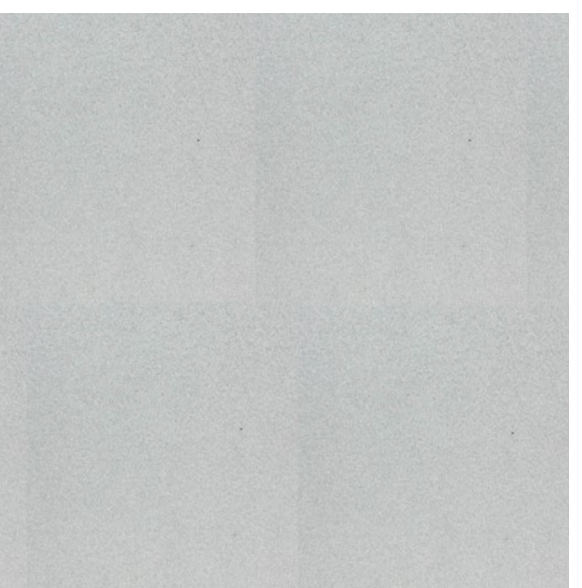
MATERIAL BOARD



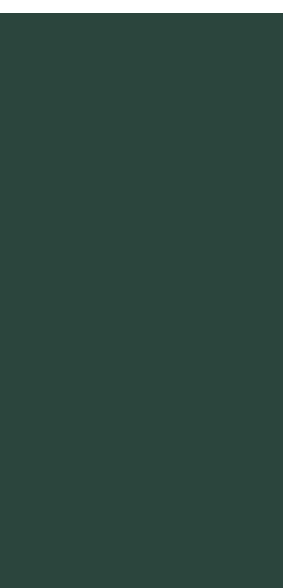
(E) CONCRETE TO BE PAINTED
PAINT: BENJAMIN MOORE
COLOR: BARNWOOD (CSP-115)



FIBER CEMENT LAP SIDING
WOODTONE RUSTIC SERIES
COLOR: CASCADE SLATE



FIBER CEMENT PANEL
WOODTONE CHROMETALLICS PANELS
COLOR: SILVER SAND



GUTTER & WINDOW LOUVERS TO BE PAINTED
PAINT: BENJAMIN MOORE
COLOR: HUNTER GREEN (2041-10)



MECHANICAL SCREEN WALL
CONCRETE MASONRY UNIT

SPLIT FACE

PRECISION CUT

BUILDING EXTERIOR FINISH

CMU WALL

EAST PERSPECTIVE RENDERING



MCHC
HEALTH CENTERS

Revisions

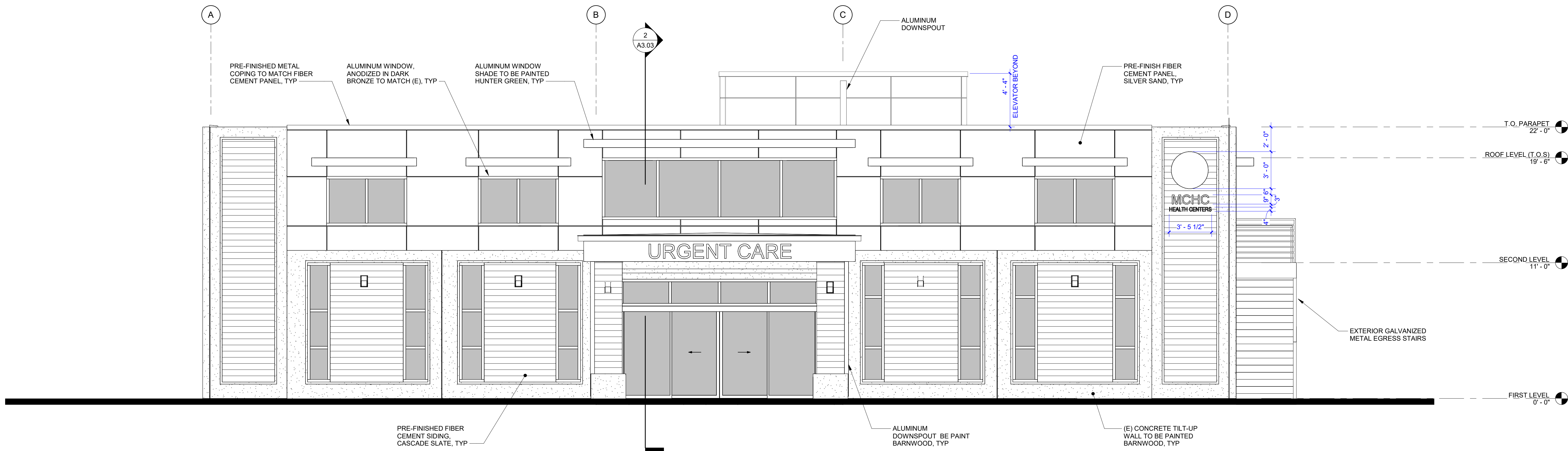
Delta	Date	Revisions	By
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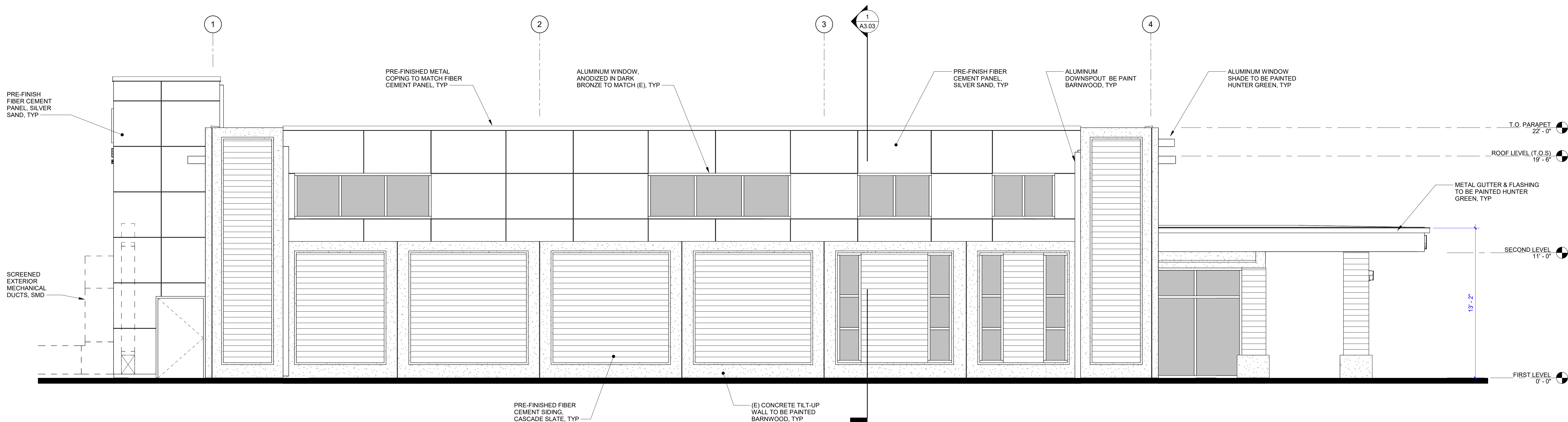
1 EAST EXTERIOR ELEVATION

1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION

1/4" = 1'-0"



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Facility
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Project
Urgent Care Clinic &
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Sheet Title
EXTERIOR ELEVATIONS

Client Project Number:

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Revit Version: 2023

Sheet

A3.01

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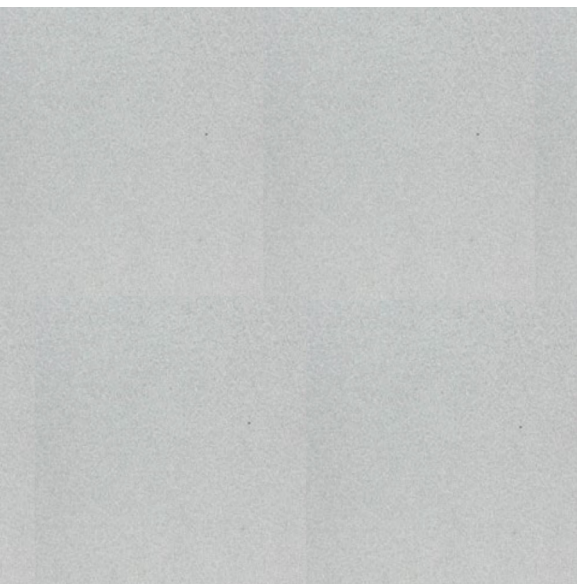
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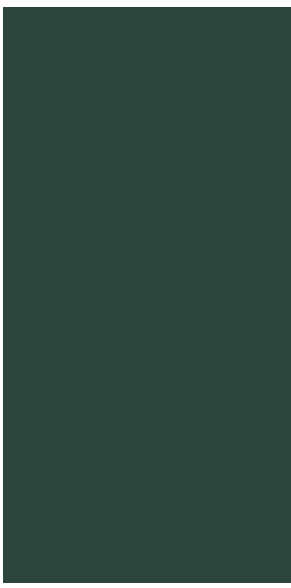
(E) CONCRETE TO BE PAINTED
PAINT: BENJAMIN MOORE
COLOR: BARNWOOD (CSP-115)



FIBER CEMENT LAP SIDING
WOODTONE RUSTIC SERIES
COLOR: CASCADE SLATE



FIBER CEMENT PANEL
WOODTONE CHROMETALLICS PANELS
COLOR: SILVER SAND



GUTTER & WINDOW LOUVERS TO
BE PAINTED
PAINT: BENJAMIN MOORE
COLOR: HUNTER GREEN (2041-10)



MECHANICAL SCREEN WALL
CONCRETE MASONRY UNIT

SPLIT FACE

PRECISION CUT

BUILDING EXTERIOR FINISH

CMU WALL

WEST PERSPECTIVE RENDERING



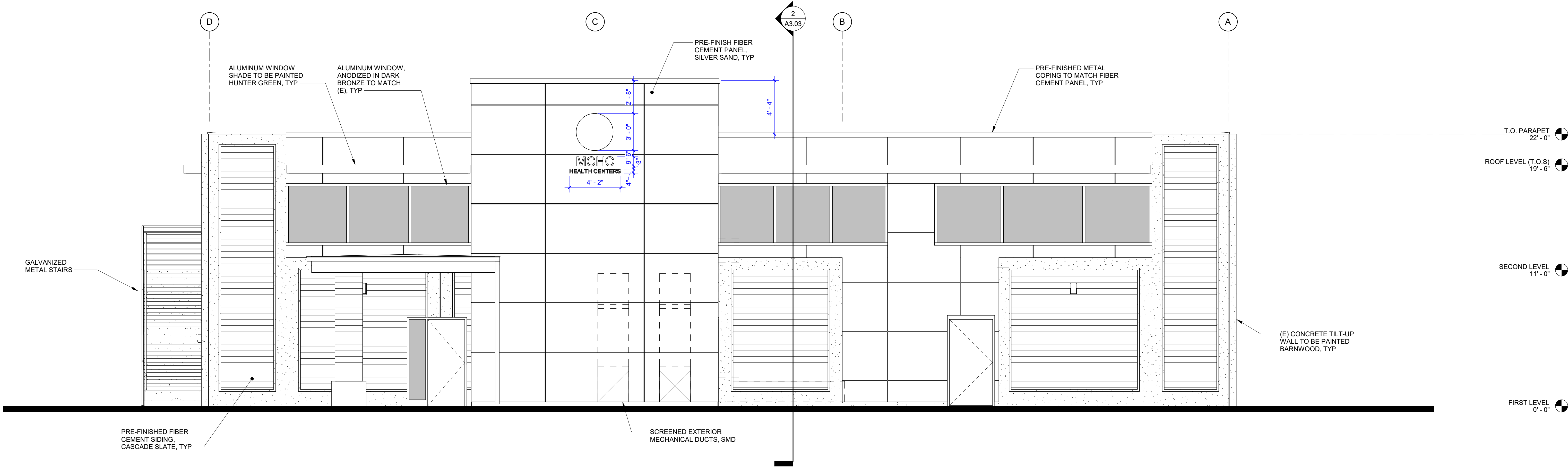
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Delta	Date	Revisions	By

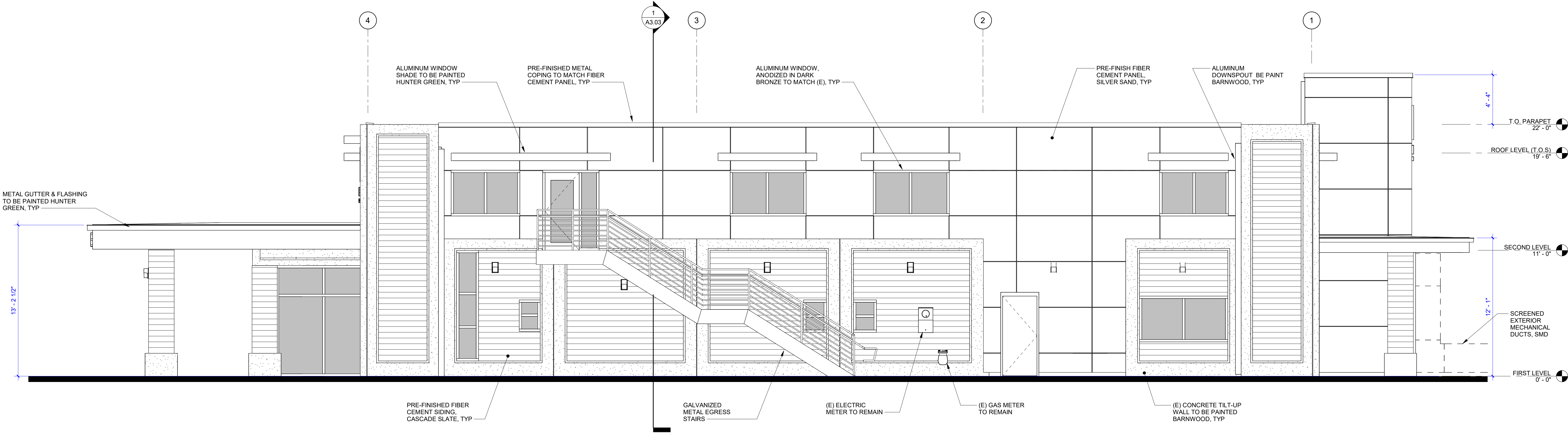
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1 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



2 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



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Project
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Sheet Title
EXTERIOR ELEVATIONS

Client Project Number:
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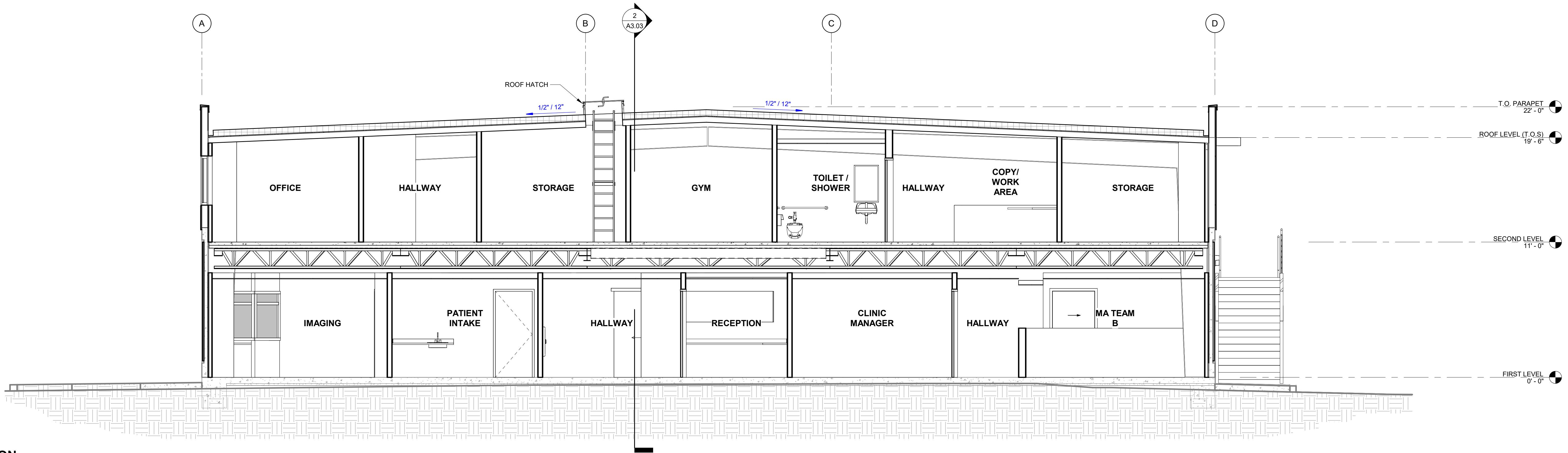
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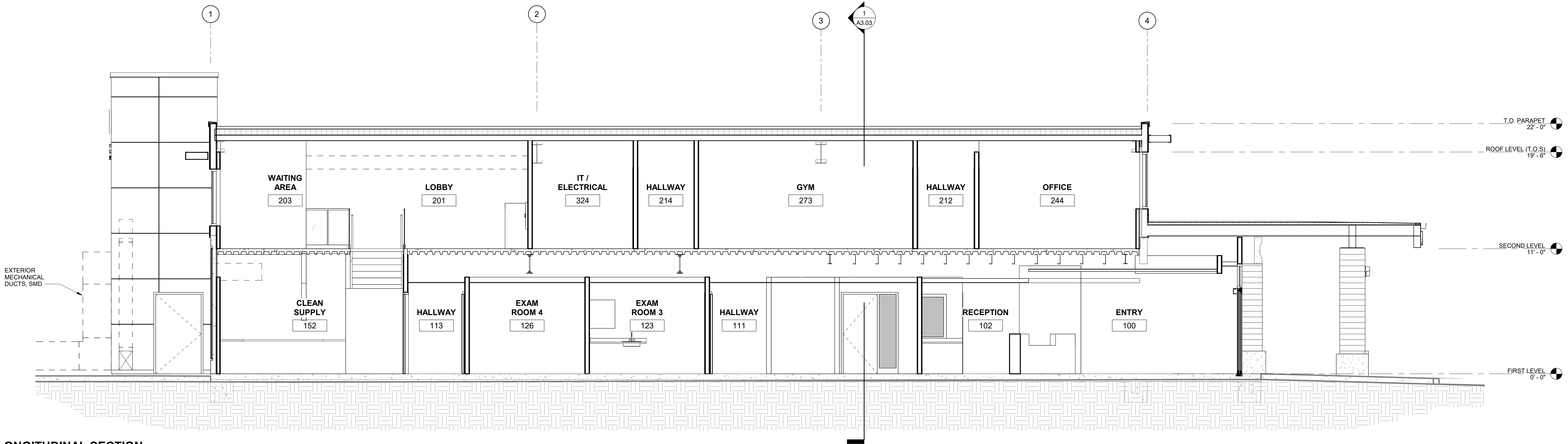
Project
Urgent Care Clinic &
Administration Building

Sheet Title
BUILDING SECTIONS

Client Project Number:
Scale: 1/4" = 1'-0"
Drawn By: Author
Checked By: Checker
Issue Date: 09.08.2025
Revit Version: 2023
Sheet
A3.03
Sheet 2 of 200



1 TRANSVERSE SECTION
1/4" = 1'-0"



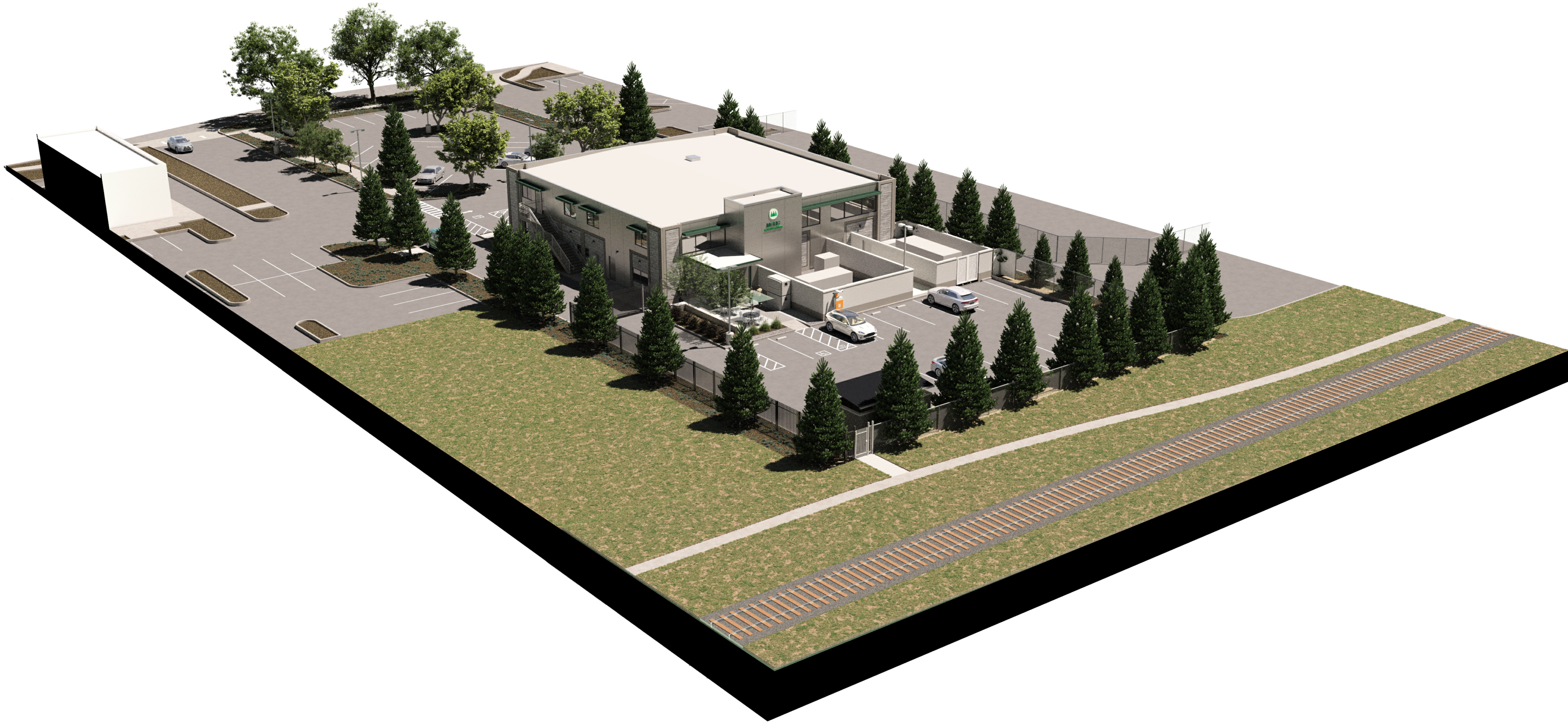
2 LONGITUDINAL SECTION
1/4" = 1'-0"



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1 NORTHEAST PERSPECTIVE
12" = 1'-0"



2 NORTHWEST PERSPECTIVE
12" = 1'-0"



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Sheet Title
EXTERIOR PERSPECTIVE
RENDERINGS

Client Project Number:		Sheet
Scale:	12" = 1'-0"	A3.04
Drawn By:	Author	
Checked By:	Checker	
Issue Date:	09.08.2025	
Revit Version:	2023	Sheet 2 of 200



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Project
Urgent Care Clinic &
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Sheet Title
WALL SECTIONS & DETAILS

Client Project Number:

Scale: As indicated

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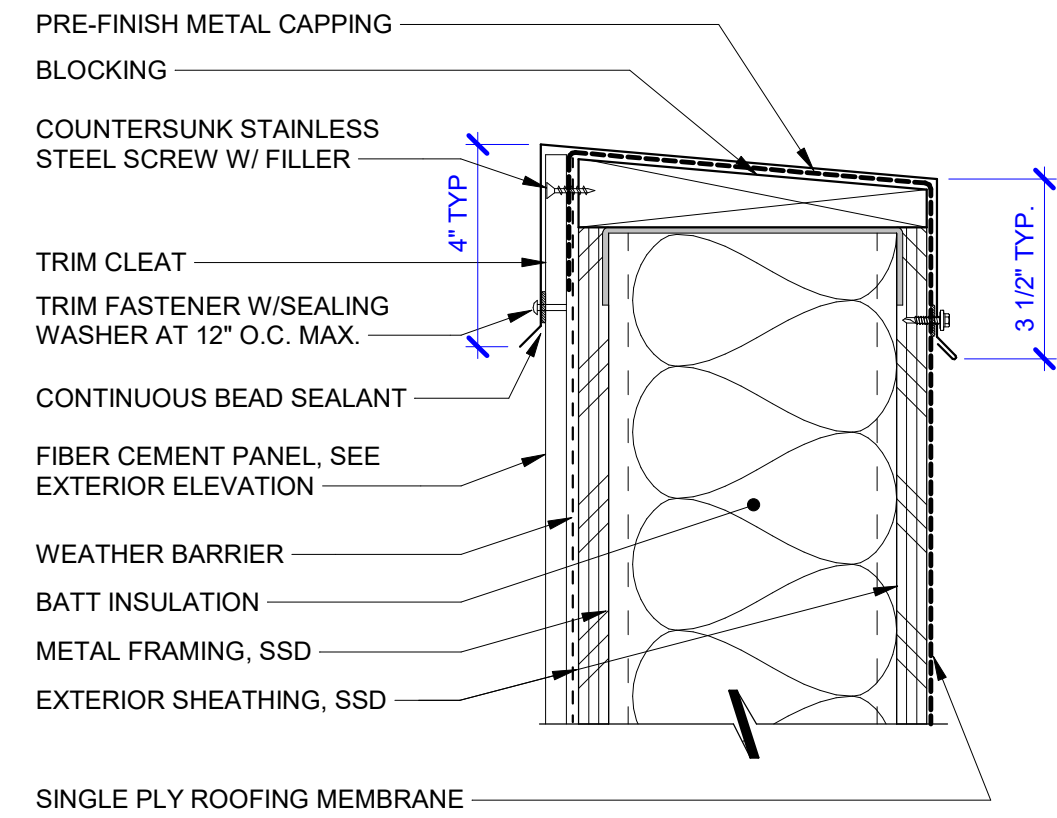
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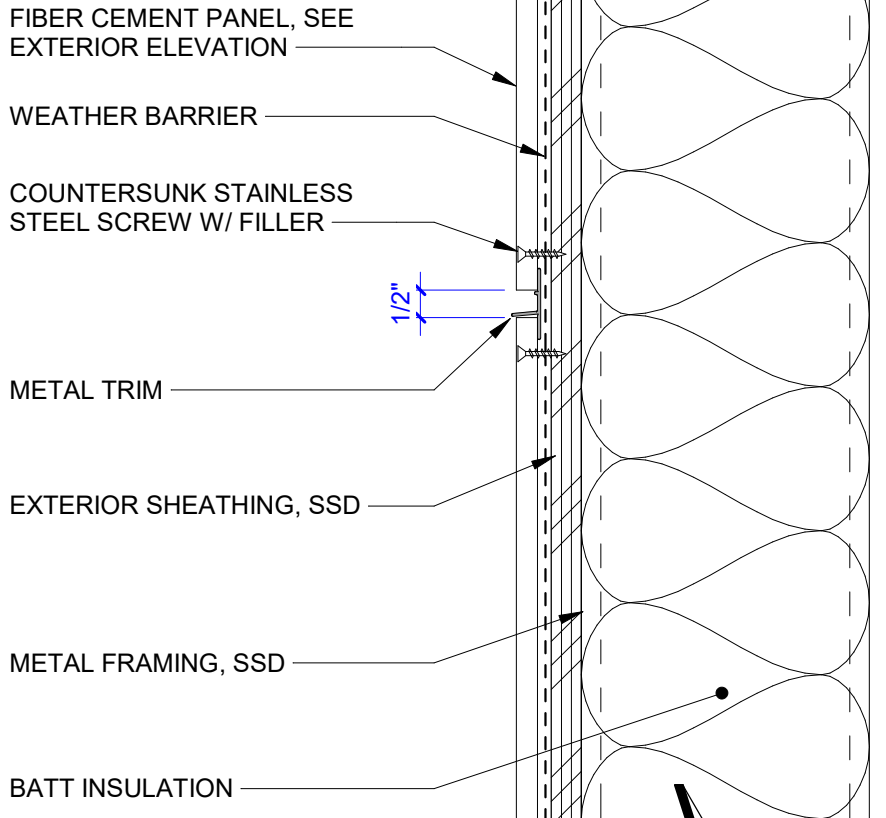
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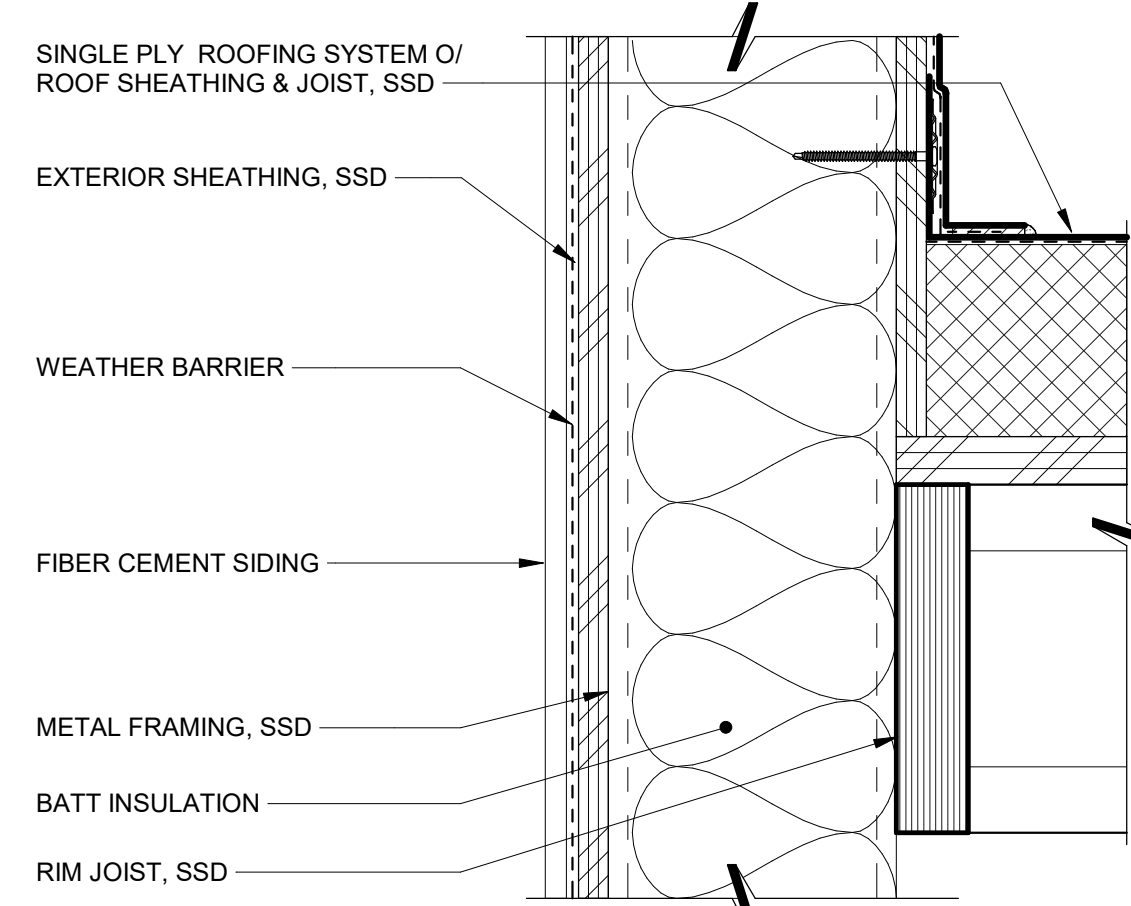
Sheet 2 of 200



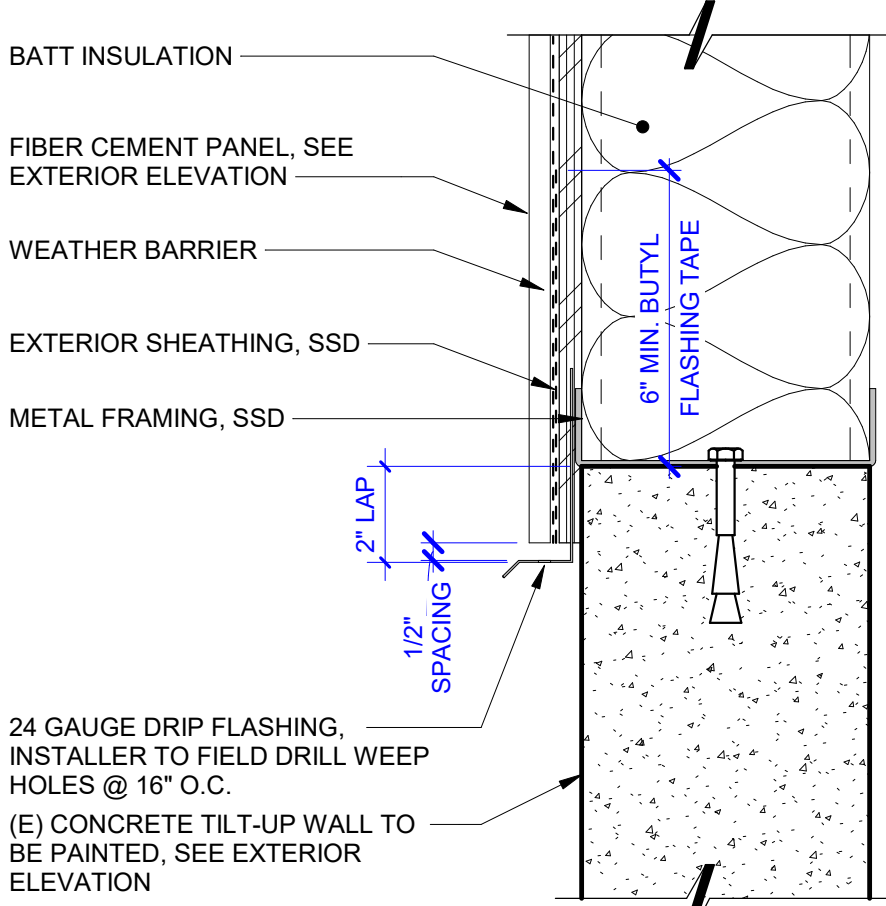
26 FIBER CEMENT PANEL PARAPET
3" = 1'-0"



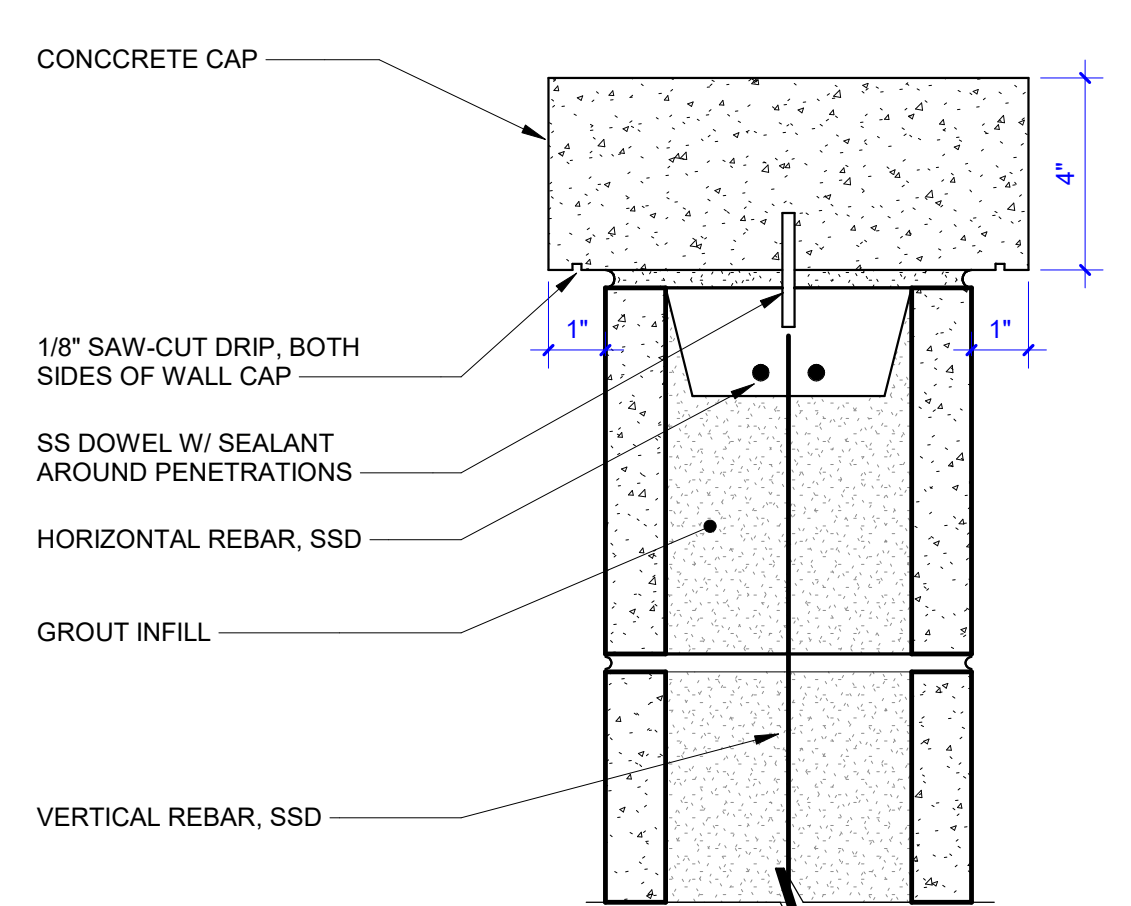
21 FIBER CEMENT PANEL SECTION
3" = 1'-0"



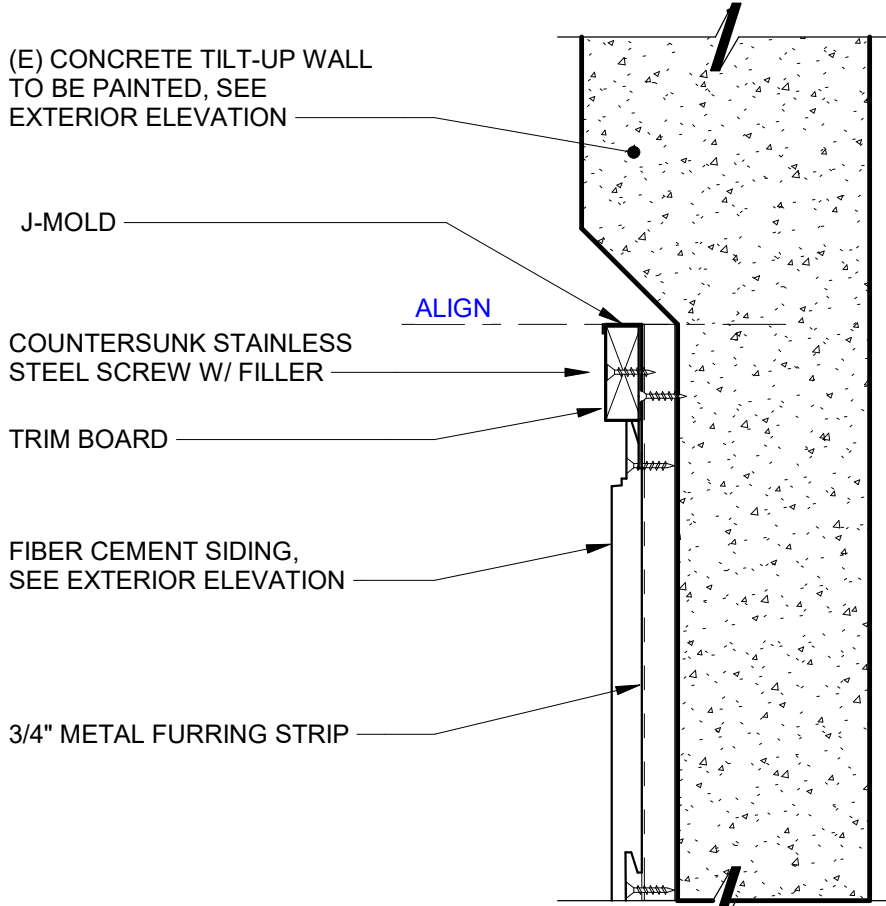
27 FIBER CEMENT PANEL PARAPET BASE
3" = 1'-0"



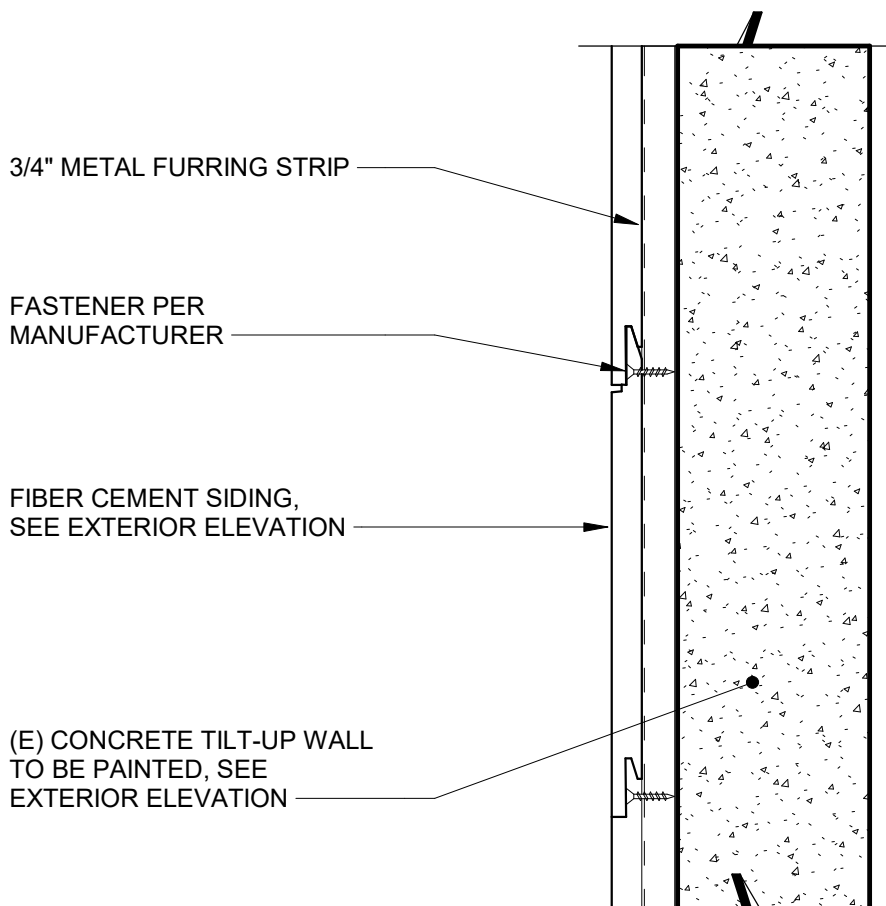
22 FIBER CEMENT PANEL BASE
3" = 1'-0"



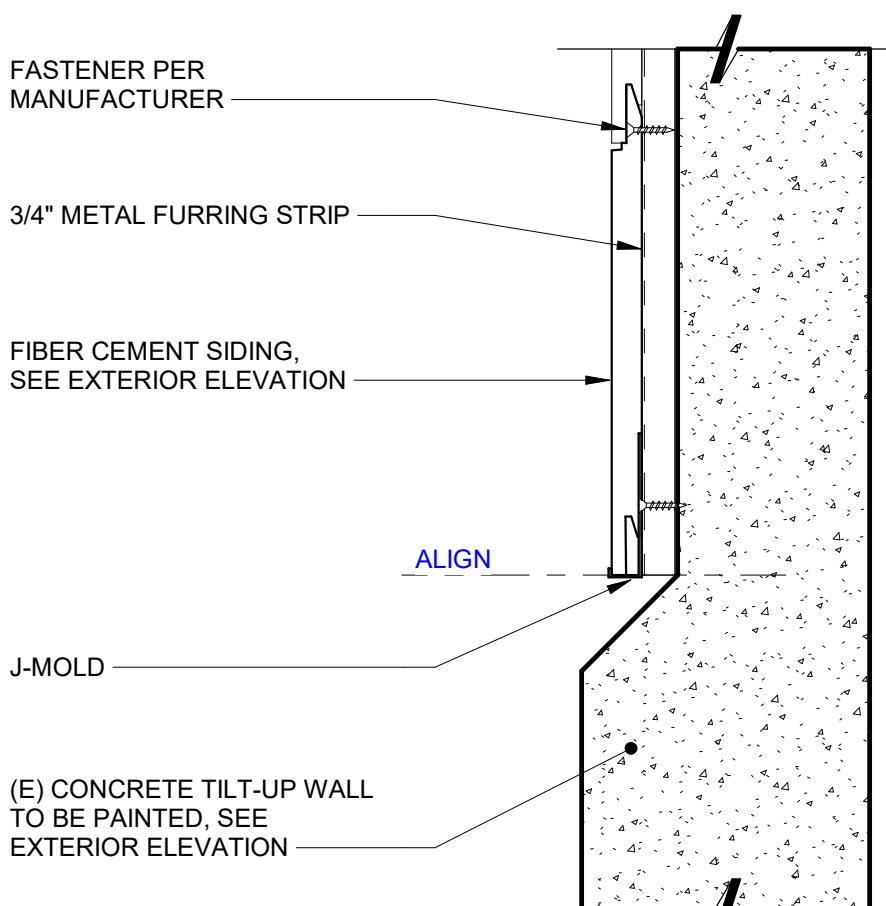
28 CMU HEADER
3" = 1'-0"



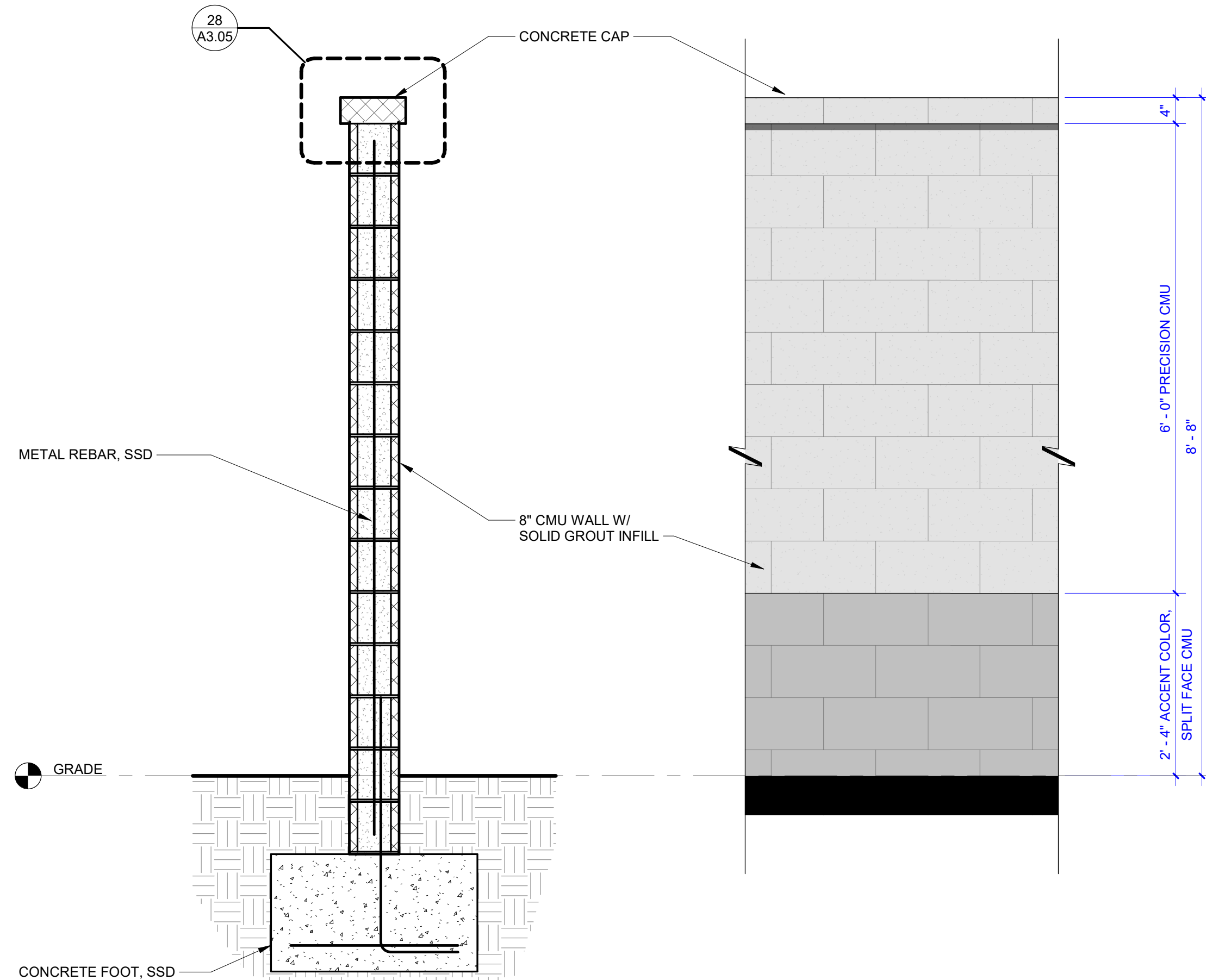
23 FIBER CEMENT SIDING PARAPET
3" = 1'-0"



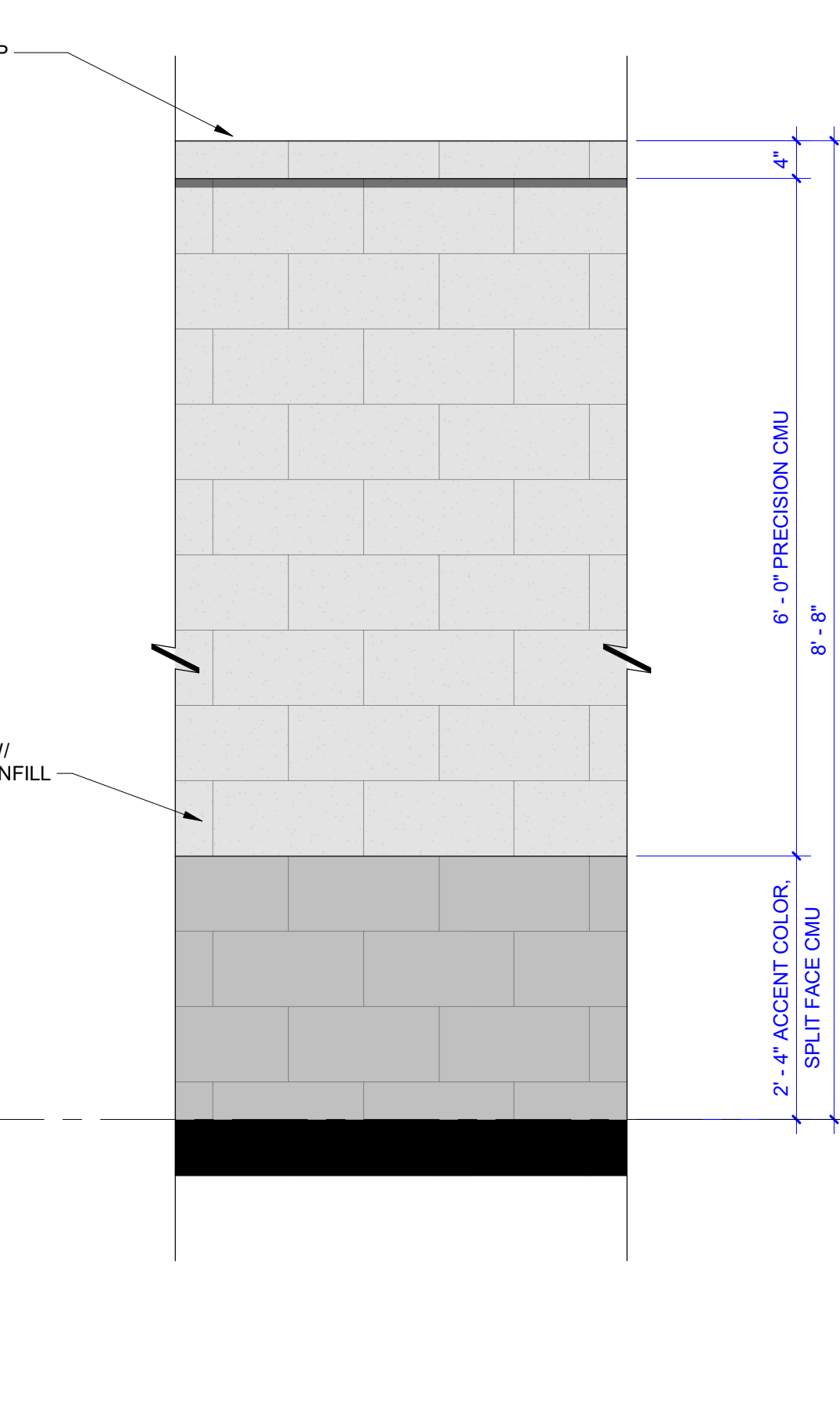
24 FIBER CEMENT SIDING SECTION
3" = 1'-0"



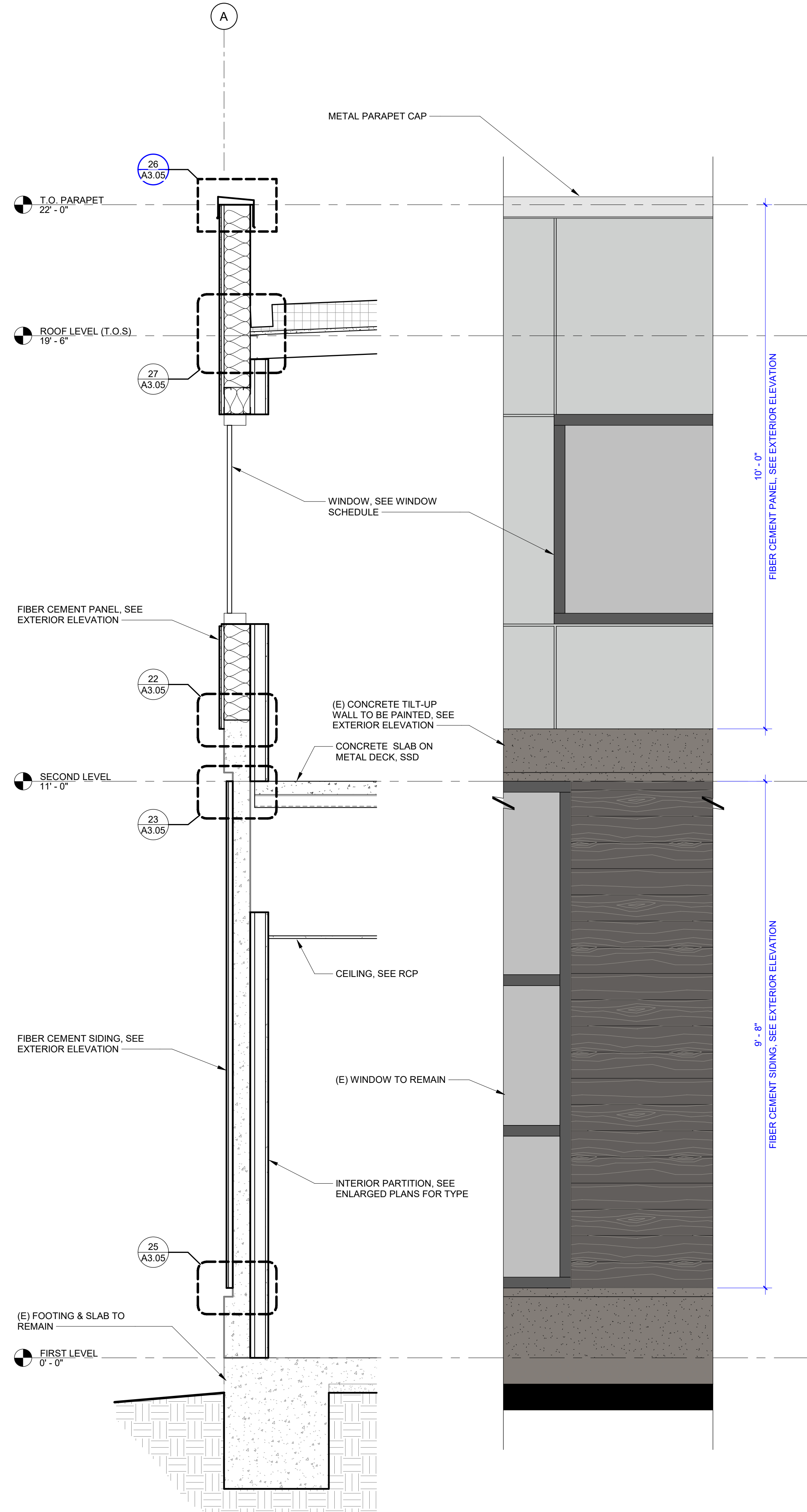
25 FIBER CEMENT SIDING BASE
3" = 1'-0"



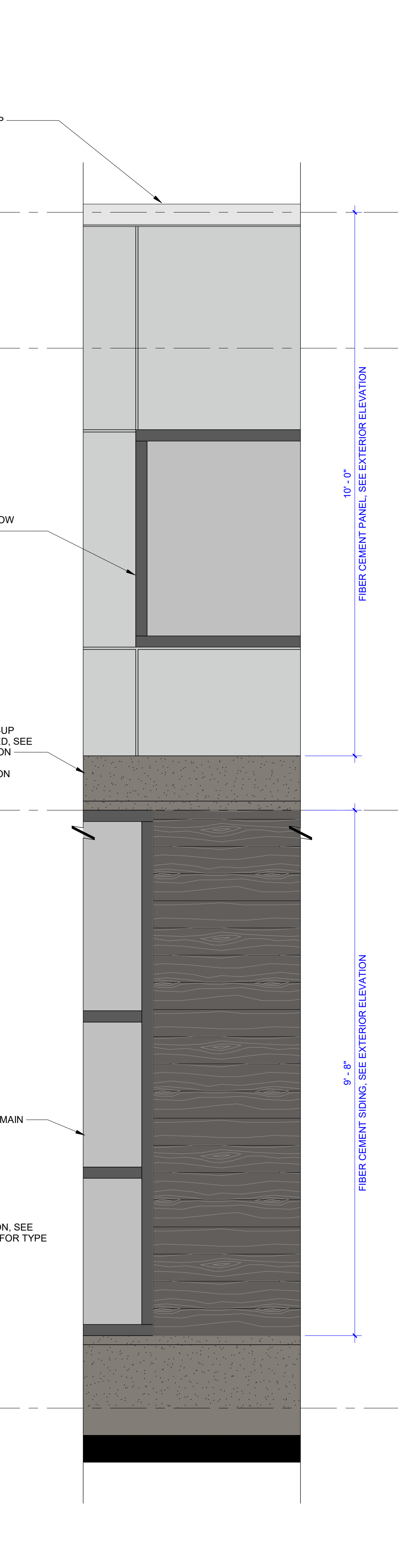
20 CMU WALL SECTION
3/4" = 1'-0"



15 CMU WALL ELEVATION
3/4" = 1'-0"



10 EXTERIOR WALL SECTION A
3/4" = 1'-0"



5 EXTERIOR WALL ELEVATION A
3/4" = 1'-0"



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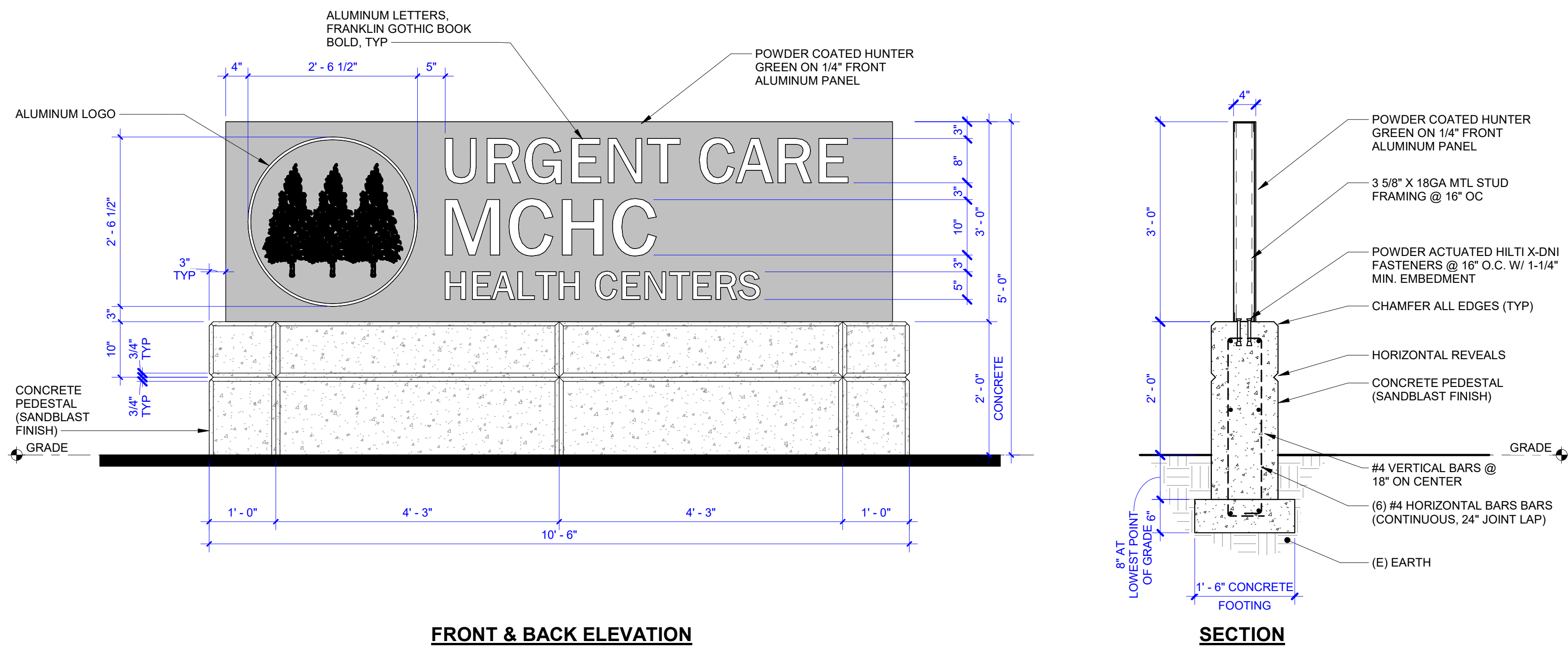
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Delta	Date	Revisions	By

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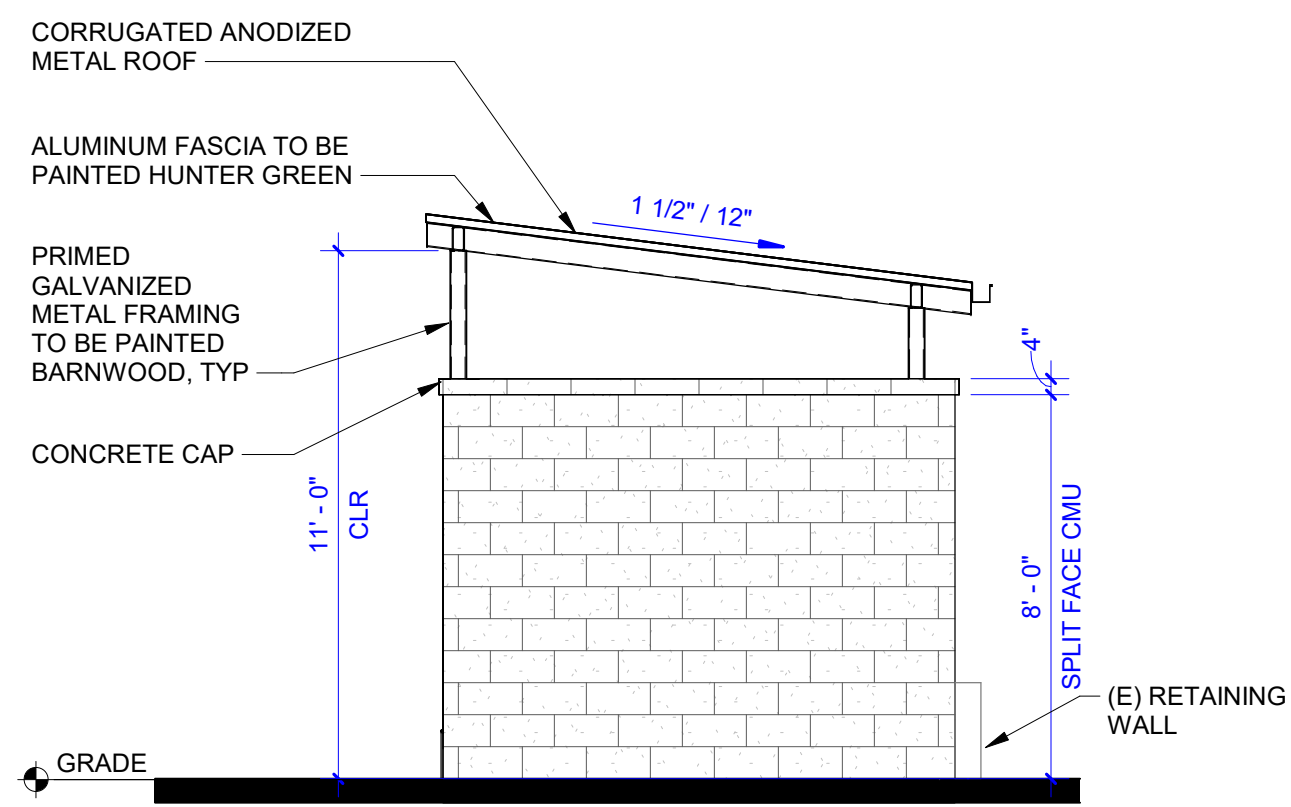
AGENCY APPROVAL



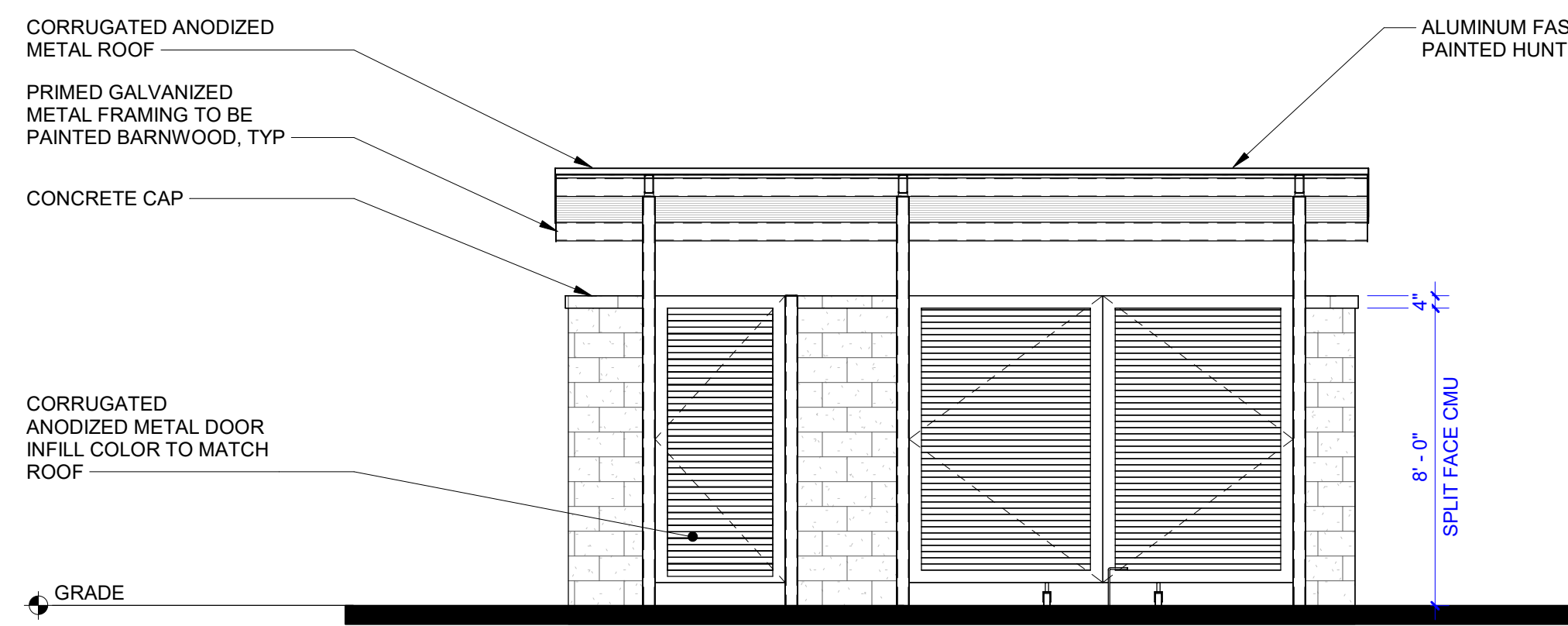
FRONT & BACK ELEVATION

SECTION

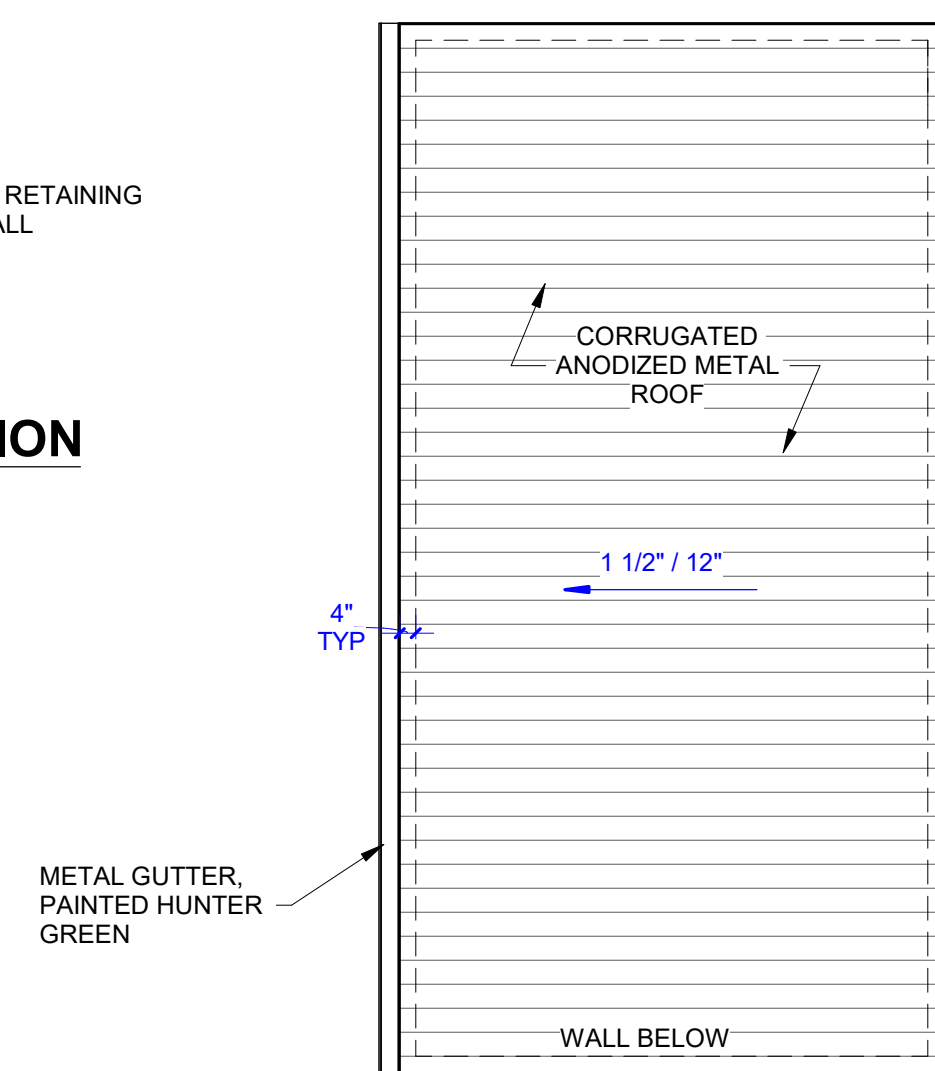
13 MONUMENT SIGN
3/4" = 1'-0"



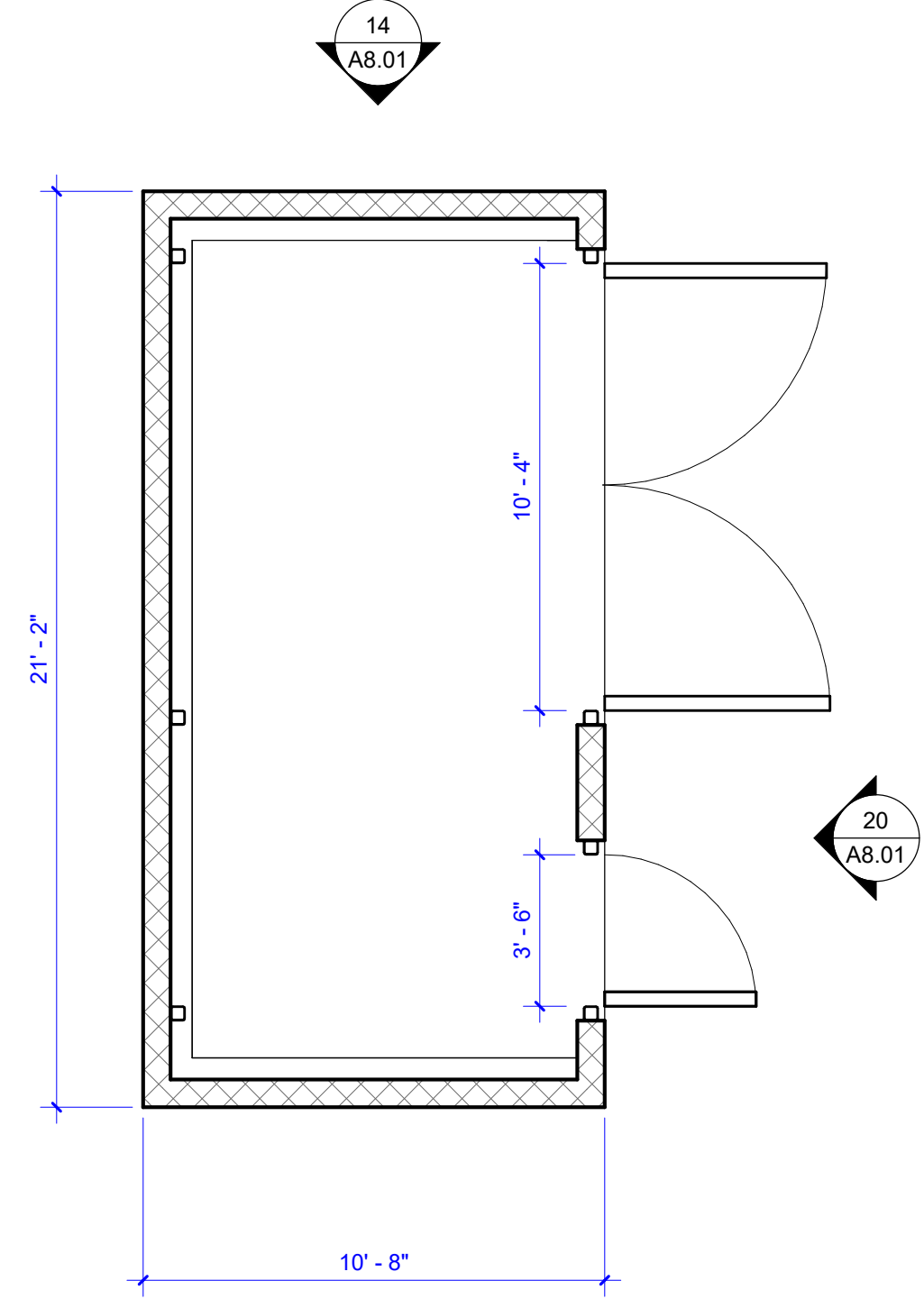
14 TRASH ENCLOSURE - SIDE ELEVATION
1/4" = 1'-0"



20 TRASH ENCLOSURE - FRONT ELEVATION
1/4" = 1'-0"



10 TRASH ENCLOSURE ROOF PLAN
1/4" = 1'-0"



5 TRASH ENCLOSURE PLAN
1/4" = 1'-0"

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HY Architects Project number: 6257

Facility
MCHC HEALTH CENTERS
1240 Airport Park Blvd Ukiah, CA 95482

Project
Urgent Care Clinic &
Administration Building

Sheet Title
EXTERIOR DETAILS - SITE

Client Project Number:		Sheet
Scale:	As indicated	A8.01
Drawn By:	Author	
Checked By:	Checker	
Issue Date:	09.08.2025	
Revit Version:	2023	Sheet 2 of 200

Intensity/Density Criteria ¹	Airport Influence Area (See Map 3A) ²							Intensity Criteria Interpretation
	Compatibility Zones						Other Airport Environs	
	1	2	3	4	5	6		
Max. Sitewide Avg. Intensity (people/acre) Max. Single-Acre Intensity (people/acre)	0 ³ 0 ³	60 120	100 300	150 450	100 300	300 1,200	no limit	▪ All nonresidential development must satisfy both sitewide and single-acre intensity limits
Max. Sitewide Average Density (dwelling units/acre) Urban Overlay Zone (dwelling units/acre) ⁴	0	0.1 (10-ac. lot)	0.5 (2-ac. lot)	0.5 (2-ac. lot)	1.0	no limit	no limit	▪ See Policy 3.5.1(b) for single-acre density limits ▪ See Policy 3.2.3(b) for application
Open Land Requirement ⁵	all remain'g	25%	15%	15%	25%	15%	no req.	▪ See Policy 3.5.6 for application ▪ Not applicable in Urban Overlay Zone
Land Use Category	Legend (see last page for interpretation)							Additional Criteria
▪ Multiple land use categories may apply to a project ▪ Land uses not specifically listed shall be evaluated using criteria for similar uses ▪ Typical occupancy Load Factor [approx. s.f./person] indicated for certain uses ⁶	Incompatible		Conditionally Compatible		Normally Compatible		▪ Conditions listed below apply to uses listed as "Conditional" (yellow) for a particular zone ▪ See Policy 3.3.6 for aviation easement dedication requirements ▪ See Policy 3.7.1 for Recorded Overflight Notification requirements ▪ See Policy 3.7.2 for Airport Proximity Disclosure requirement	
Indoor Small Assembly Facilities (capacity <300 people): community libraries; art galleries; museums; exhibition space, community/senior centers ➔ [approx. 60 s.f./person]								3-5: Ensure intensity criteria met; not allowed if intended primarily for use by children; avoid outdoor spaces intended for noise-sensitive activities
Indoor Recreation: gymnasiums, club houses, athletic clubs, dance studios, sports complexes (indoor soccer), health clubs, spas [approx. 60 s.f./person]								3-5: Ensure intensity criteria met; not allowed if intended primarily for use by children
In-Patient Medical: hospitals, mental hospitals, nursing homes ➔								3, 4: Ensure intensity criteria met
Out-Patient Medical: health care centers, clinics [approx. 240 s.f./person]								3-5: Ensure intensity criteria met
Penal Institutions: prisons, reformatories								6: Allowed only if alternative site outside zone would not serve intended function; ensure intensity criteria met
Public Safety Facilities: police, fire stations								3-5: Ensure intensity criteria met
Commercial, Office, and Service Uses								
Major Retail (capacity >300 people per building): regional shopping centers, 'big box' retail, super-market [approx. 110 s.f./person]								4: Ensure intensity criteria met
Local Retail (≤300 people per building): community/neighborhood shopping centers, grocery stores [approx. 170 s.f./person]								3-5: Ensure intensity criteria met
Eating/Drinking Establishments: restaurants, bars, fast-food dining [approx. 60 s.f./person]								3-5: Ensure intensity criteria met

Table 3A, continued

Intensity/Density Criteria ¹	Airport Influence Area (See Map 3A) ²							Intensity Criteria Interpretation
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Limited Retail/Wholesale: furniture, automobiles, heavy equipment, building materials, hardware, lumber yards, nurseries [approx. 250 s.f./person]								2-5: Ensure intensity criteria met 2: Locate structure max. distance from extended runway centerline where feasible
Offices: professional services, doctors, finance, banks, civic; radio, television and recording studios, office space associated with other listed uses [approx. 215 s.f./person]								2-5: Ensure intensity criteria met 2: Locate structure max. distance from extended runway centerline where feasible
Personal and Miscellaneous Services: barbers, car washes, print shops [approx. 200 s.f./person]								2-5: Ensure intensity criteria met 2: Locate structure max. distance from extended runway centerline where feasible
Fueling Facilities: gas stations, trucking and other transportation fueling facilities								2-4: Ensure intensity criteria met 2: Store fuel underground or in above-ground storage tanks with combined max. capacity of 6,000 gallons; locate structure max. distance from extended runway centerline where feasible
Industrial, Manufacturing, and Storage Uses								
Hazardous Materials Production and Storage (flammable, explosive, corrosive, or toxic): oil refineries, chemical plants								6, OAE: Allowed only if alternative site outside zone would not serve intended function; generation of steam or thermal plumes not allowed
Heavy Industrial								6, OAE: Bulk storage of hazardous materials allowed only for on-site use; permitting agencies to evaluate possible need for special measures to minimize hazards if struck by aircraft; generation of steam or thermal plumes not allowed

Table 3A, continued




Land Use Acceptability		Interpretation/Comments
		<i>Normally Compatible</i> Normal examples of the use are compatible with noise, safety, and airspace protection criteria. Atypical examples may require review to ensure compliance with usage intensity, lot coverage, and height limit criteria.
		<i>Conditional</i> Use is compatible if indicated usage intensity, lot coverage, and other listed conditions are met. For the purposes of these criteria, “avoid” is intended as cautionary guidance, not a prohibition of the use.
		<i>Generally Incompatible</i> Use should not be permitted under any circumstances.

Table 3A, continued

