



Design Review Board

Special Meeting **AGENDA**

Civic Center Annex ♦ 300 Seminary Avenue, Conf. Rm. #3 ♦ Ukiah, CA 95482

To participate virtually, go to the following link: <https://us06web.zoom.us/j/82187751283>

To view the meeting (without participating), go to: <http://www.cityofukiah.com/meetings/>

Or you can call in using your telephone only:

- Toll-free 1-669-444-9171
- Enter the Access Code: 821 8775 1283
- Raise hand: After being recognized, Enter *9
- To Speak after being recognized: enter *6 to unmute yourself

November 21, 2024 - 3:00 PM

The Design Review Board serves as an advisory body to City staff, Zoning Administrator, Planning Commission and City Council to make site design recommendations consistent with the City's Design Review Guidelines. The Design Review Board works with staff and applicants to review proposed site development permit applications, planned development applications and precise development plans, and make recommendations concerning architecture, site design layout, landscaping, parking, signage, exterior lighting and other aspects of urban design to City staff, Zoning Administrator, Planning Commission and City Council as appropriate.

The Design Review Board encourages applicants and/or their representatives to be available at the meeting to answer questions so that no agenda item need be deferred to a later date due to a lack of pertinent information.

1. **CALL TO ORDER**

2. **ROLL CALL**

3. **CORRESPONDENCE**

4. **APPROVAL OF MINUTES**

4.a. Approval of the May 23, 2024 - Regular Meeting Minutes

Recommended Action: Approve the regular meeting minutes of May 23, 2024

Attachments:

1. Regular Meeting Minutes - May 23, 2024

5. **COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS**

The Design Review Board (DRB) welcomes input from the audience that is within the subject matter jurisdiction of the DRB . In order for everyone to be heard, please limit your comments to three (3) minutes per person and not more than ten (10) minutes per subject. The Brown Act regulations do not allow action to be taken on audience comments.

6. NEW BUSINESS

6.a. Request for review and recommendation to the Planning Commission to renovate and reutilize a nonconforming structure at 414 East Perkins Street by requesting a Minor Use Permit for voluntary modifications per Ukiah City Code Section 9231.14(C)(3), and a Major Site Development Permit to utilize the existing drive-through facility in accordance with Tables 3, 9, and 27 of the Downtown Zoning Code (DZC). Proposed improvements include interior and exterior renovations including installation of ATMs, minor façade and footprint modifications, roof replacement, pedestrian improvements and enhanced connectivity to adjacent commercial parcels, revised landscaping, accessibility enhancements, as well as the addition of bicycle parking.

Recommended Action: Staff requests the Design Review Board to review the project for consistency with the Downtown Zoning Code and make a recommendation to the Planning Commission regarding the project.

Attachments:

1. Application Materials - File No. 24-000015
2. Site Development Permit - Minutes & Reports - File No. 81-25 (81-87)
3. Agency Referral - Responses Received

7. MATTERS FROM THE COMMISSION

8. MATTERS FROM STAFF

9. ADJOURNMENT

Please be advised that the City needs to be notified 72 hours in advance of a meeting if any specific accommodations or interpreter services are needed in order for you to attend. The City complies with ADA requirements and will attempt to reasonably accommodate individuals with disabilities upon request.

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the bulletin board at the main entrance of the City of Ukiah Annex, located at 300 Seminary Avenue., Ukiah, California, not less than 24 hours prior to the meeting set forth on this agenda.

Jesse Davis, AICP, 11.08.2024; 11.14.2024 (Updated)

CITY OF UKIAH
DESIGN REVIEW BOARD REGULAR MEETING MINUTES
Held in person and via Zoom teleconference
May 23, 2024
3:00 p.m.

1. CALL TO ORDER

The meeting was held in person and virtually via Zoom teleconference. Chair Tom Liden called the Design Review Board meeting to order at approximately 3:03 p.m.

Chair Tom Liden presiding.

2. ROLL CALL

Members Present: Hawkes, Gordon and Chair Liden. Absent Akin (Pre-Arranged) & Meaux.

Staff Present: Craig Schlatter (Virtual), Community Development Director; Jesse Davis, Chief Planning Manager

Public Present: Michelle Savoy (Friends of the Library Ukiah)

3. CORRESPONDENCE

None received.

4. APPROVAL OF MINUTES

Motion/Second: Hawkes/Gordon made a motion to approve the minutes of the April 25, 2024, DRB minutes.

Motion carried by the following roll call votes: AYES: Gordon, Liden, Hawkes. NOES: None. Absent Akin (Pre-Arranged) & Meaux..

5. COMMENTS FROM AUDIENCE ON NON-AGENDA ITEMS

No public comments on non-agenda items.

6. NEW BUSINESS

6a. Request for review and recommendation to the Planning Commission regarding an offer of public artwork located at 105 N Main St. Ukiah; APN (002-192-18).

Chief Planning Manager J. Davis presented the item.

Public comment period was opened and closed, as no members of the public were in attendance in-person, nor online via teleconference. The Applicant, Michelle Savoy (Friends of the Library) did address comments and questions of the Design Review Board.

On a Motion from Member Gordon and a Second from Member Hawkes, the DRB unanimously voted to recommend the approval of the proposed project to the Planning Commission, with the following recommendation:

- 1) Recommendation to the Planning Commission to approve the Mural Permit at 105 N Main St. Ukiah; APN (002-192-18).

Motion carried by the following roll call votes: AYES: Gordon, Liden, Hawkes.
NOES: None. Absent Akin (Pre-Arranged) & Meaux

7. **MATTERS FROM THE BOARD**

None

8. **MATTERS FROM STAFF**

Staff provided an overview of the planned ordinances and projects for the remainder of 2024.

9. **ADJOURNMENT**

There being no further business, the meeting adjourned at approximately 3:14 p.m.

DRAFT

DRAFT

TO: Design Review Board

FROM: Jesse Davis, Chief Planning Manager

DATE: November 14, 2024

SUBJECT: Request for review and recommendation to the Planning Commission to renovate and reutilize a nonconforming structure at 414 East Perkins Street by requesting a Minor Use Permit for voluntary modifications per Ukiah City Code Section 9231.14(C)(3), and a Major Site Development Permit to utilize the existing drive-through facility in accordance with Tables 3, 9, and 27 of the Downtown Zoning Code (DZC). Proposed improvements include interior and exterior renovations including installation of ATMs, minor façade and footprint modifications, roof replacement, pedestrian improvements and enhanced connectivity to adjacent commercial parcels, revised landscaping, accessibility enhancements, as well as the addition of bicycle parking.

LOCATION

The ±0.69-acre project site (APN 002-200-36) is located just north of East Perkins Street, approximately 1,000 feet west of U.S. Highway 101. It is adjacent to the Pear Tree Center, an existing commercial shopping area, as well as a vacant commercial parcel to the west, which has remained unimproved since 2009 when a fire destroyed the associated restaurant. The subject parcel includes an open parking lot and a vacant, single-story, ±4,400-square-foot structure that is considered legal nonconforming. Previously, this subject structure was used for financial services and features a multi-lane drive-through ATM. Access to the parcel is provided by a driveway from the Pear Tree Center, as well as an existing encroachment from East Perkins Street. Presently, the property features ±27 off-street parking spaces, based on the current striping layout.

PROJECT DESCRIPTION

On October 6, 2024, the applicant, Redwood Credit Union, submitted an application to renovate and reuse the legal nonconforming structure at 414 East Perkins Street. The applicant requests a Minor Use Permit for voluntary modifications and improvements per Ukiah City Code Section 9231.14(C)(3) and a Major Site Development Permit to utilize the existing drive-through facility, in accordance with Tables 3, 9, and 27 of the Downtown Zoning Code (DZC).

The proposed improvements, as detailed in the application materials, include interior and exterior renovations, installation of a backup generator, construction of a detached trash enclosure, minor modifications to the façade and building footprint to accommodate walk-up ATMs, roof replacement, pedestrian improvements, enhanced connectivity to an adjacent commercial shopping center, expanded landscaping, and the addition of bicycle parking at the building's entrance.

Please refer to the project description and design details submitted by the applicant in

Attachment 1 for more information. Attachment 1 also includes the site plan, architectural plans and elevations, landscaping plan, photometric plan, and site improvement plans.

Specific project considerations for the renovation and reuse of the subject property include:

- Construction of a new off-street encroachment along the eastern property line to connect the subject property to the existing Pear Tree Center, improving site circulation;
- Construction of a new peripheral curb and sidewalk along the eastern property line with striping and crosswalk to the Pear Tree Center;
- Interior and exterior improvements to the nonconforming structure, including enhanced mechanical systems, energy efficiency upgrades, revised window placement, and interior alterations;
- Construction of a detached trash enclosure and installation of an emergency backup generator;
- Replacement of the existing roof with a vertical seam metal roof in *Classic Green*;
- Installation of new irrigation and landscaping, including parking lot trees;
- Delineation and construction of pedestrian walkways;
- Redwood Credit Union signage on public-facing façades;
- Installation of downshielded parking lot and building lighting;
- Hours of operation: generally 9:00 a.m. to 5:00 p.m., Monday through Friday, and 9:00 a.m. to 2:00 p.m. on Saturdays.

BACKGROUND

In June 1981, Site Development Application No. 81-25 was approved and conditioned by the City of Ukiah Planning Commission. The approved design featured a wooden building with a tile roof, intended to complement the adjacent Pear Tree Center while maintaining a distinct commercial identity. The existing nonconforming commercial structure was completed in 1982 under building permit #669 (Attachment 2).

From 1982 to 2016, the structure and parcel served as a branch of a local financial services company (Savings Bank of Mendocino County – Pear Tree Center). Since branch closure in 2016, the property has remained vacant. While originally well-maintained, the structure and property have increasingly fallen into a state of disrepair. In 2022, windows of the facility and glass doors were boarded to prevent vandalism, and in 2023 temporary fencing was installed around alcoves and entrances to prevent trespass and loitering. Since 2019, the landscaping associated with the property has become increasingly overgrown, and maintenance or care provided has been sporadic, resulting in an unkempt appearance that detracts from the visual appeal of the site and its surrounding area/commercial corridor.

Under Ukiah City Code Article 18 (Downtown Zoning Code), the structure is considered legal nonconforming, as it does not comply with the current site development regulations for the Urban Center (UC) zoning district in which it is located or with applicable general regulations, such as those regarding accessibility, building or energy efficiency; however, it did comply with the provisions in effect at the time of its construction.

DOWNTOWN ZONING CODE

The Project site has a 2040 General Plan land use designation of Downtown Core (DC) and is zoned Urban Center (UC) within the Downtown Zoning Code (DZC). The DZC was adopted in 2012 and prescribes several development and architectural standards. As described in Ukiah City Code, the UC Zone allows for higher density residential and mixed-use buildings that may accommodate retail, office, services, local and regional civic uses, and residential uses.

Per Ukiah City Code Section 9231.12, it is the intent of DZC to discourage the long-term continuance of nonconformities, providing for their eventual elimination, while allowing them to exist under the limited conditions. As conveyed by the DZC, the continuance of a nonconforming use or structure is generally considered detrimental to the orderly development of the area within the boundaries of this code and the general welfare of its residents and is particularly detrimental to the welfare of persons and property in the vicinity of the nonconformity.

That being said, the level and impact of the nonconformity is not particularly conveyed within the DZC, effectively treating all nonconforming situations in the manner described above, detrimental to the welfare of persons and property.

At the same time, and perhaps more critically, per UCC Section 9220.1(E), it is also the intent of the DZC to promote and encourage sustainability through the reuse and improvement of existing buildings. If not considered historic, nearly all existing structures within the DZC feature some level of nonconformity, due to setback, structure height, frontage type, or lot coverage.

Within the DZC, nonconforming structures are regulated per Ukiah City Code Section 9231.14. Since the subject structure was not involuntarily damaged or destroyed by accident (e.g., fire, explosion, etc.) or natural disaster (e.g., earthquake, etc.), it is primarily, but not completely, subject to UCC Section 9231.14(C), which regulates the *voluntary* modifications, as well as major and minor repair of nonconforming structures. As conveyed in Attachment 1, there are some nonvoluntary repairs required due to vandalism, age or safety.

Since a nonconforming structure may undergo ordinary repair and maintenance only in a specified manner, UCC Section 9231.14(C), specifies how the reconstruction or structural alteration of a nonconforming structure may be allowed with approval of a minor use permit; provided, that the review authority first determines that the modification is necessary to secure added safety or to reduce the fire hazard and/or to secure aesthetic advantages through the alignment, architecture, or closer conformity to surrounding allowed structures in the immediate neighborhood.

Staff review has determined that minor repair and other voluntary modifications provide the most appropriate framework for the Planning Commission's evaluation of the repairs and modifications requested. While required by Ukiah City Code, relying on appraised value as a basis to restrict repairs or modifications presents difficulties when addressing worsening non-historic structures. To ensure compliance with this aspect of the DZC, Staff intends to condition the project to require that a detailed construction scope of work and schedule be submitted, along with a recent appraisal of the commercial property for compliance with UCC Section

9231.14(C) ensuring that proposed work does not exceed fifty percent (50%) of the current market value of the structure during any calendar year.

ASSOCIATED DEFINITIONS

- Drive-Through: *A facility where food and other products may be purchased or services may be obtained by motorists without leaving their vehicle. Examples of these include fast food restaurants, drive-through coffee, pharmacies, drive-through teller windows and automatic teller machines (ATMs). Does not include fueling stations/gas stations or other vehicle services which are separately defined (§9232.3 DEFINITIONS).*
- Financial Services: *Establishments primarily providing financial and banking services. Typical uses include banks, savings and loan institutions, credit and lending services, and similar services (§9278 DEFINITIONS).*
- Structure, Legal Nonconforming: *A building or structure including off street parking or loading space, that does not comply with current applicable site development regulations for the district in which it is located, or with applicable general regulations, but which complied with applicable provisions at the time of construction(§9278 DEFINITIONS).*
- Substantial Modification: *Any alteration, abandonment, damage, destruction, or loss of or to a building that would result in the loss of status as a nonconforming use or nonconforming buildings under subsection 9209D or E of this code or would require a discretionary permit (§9232.3 DEFINITIONS).*

ARCHITECTURAL STANDARDS

For the purposes of review by the DRB, Table 1 below provides a list of applicable DZC design standards (generally identified in DZC Tables 6,7,11 & 12), as well as a summary of landscaping and parking standards, and a consistency analysis for the proposed project. Also addressed are considerations utilize the existing drive-through facility in accordance with DZC Tables 3, 9, and 27.

Table 1, Project Consistency with DZC Design Standards

STANDARDS	Urban Center (UC)	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
EXISTING BUILDING			
Frontage type	Exterior modifications and additions to existing buildings with nonconforming facade orientation shall utilize an allowed frontage type as required by Table 6	Major Exception (Table 6)	Major Exception Required



COMMUNITY DEVELOPMENT DEPARTMENT

AGENDA ITEM NO. 6a
 Department of Community Development
 300 Seminary Ave.
 Ukiah, CA 95482
 planningdivision@cityofukiah.com

STANDARDS	Urban Center (UC)	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
Setbacks	Additions not exceeding 1,000 square feet of gross floor area or 50% of the gross floor area of the existing building, whichever is less, may continue the setbacks of the existing building.	Major Exception (Table 6)	Consistent
Height	Additions not exceeding 1,000 square feet of gross floor area or 50% of the gross floor area of the existing building, whichever is less, may continue the existing building height.	Major Exception (Table 6)	Consistent
PARKING, DRIVE-THROUGH ACCESS			
Existing Facilities Parking	Existing open parking facilities as of the date of the adoption of this code shall be considered legal nonconforming; provided, that they were legal at the time of their creation.	None (Table 18)	Consistent
Existing Open Parking – No Expansion	Existing parking facilities that are nonconforming in terms of location (layer) are not required to be relocated to comply with the parking layer requirement.	None (Table 17)	Consistent
Existing Facilities Parking - Modification	Modifications to existing parking facilities shall comply with the requirements of Tables 16, 17 and 18.	Minor Exception (Table 18)	Minor Exception Required
Drive-through or drive-up – bank, pharmacy	Use Allowed Accessory to a Principal Use (Drive-through Lane/facility is subject to Planning Commission approval of a site development permit.)	None (Table 3)	Consistent
Drive-Through Facility Design	To reduce noise and visual impacts as viewed from frontages. On a project-by-project basis, screening and landscaping may be required in order to comply with this requirement.	Major Exception (Table 9)	Consistent



STANDARDS	Urban Center (UC)	MODIFICATION TO STANDARD	PROJECT CONSISTENCY
Drive-Through Facility Location	Prohibited on frontage(s). In areas with residential uses, locate to reduce exposure of residential uses to noise, exhaust, and visual impacts. On a project-by-project basis, delivery hours may be restricted in order to comply with this requirement.	Major Exception (Table 9)	Consistent
Drive-Through Screening	Screen from view from all frontage(s).	Major Exception (Table 9)	Consistent
OUTDOOR LIGHTING			
Design	Compatible with building architecture.	Minor Exception (Table 9)	Consistent
Direction of Fixtures	Directed downward and away from adjoining properties and public right-of-way.	Minor Exception (Table 9)	Consistent
Energy Efficiency	Energy efficient fixtures/lamps, such as high-pressure sodium, hard-wired compact fluorescent, LED, or other lighting technology that is of equal or greater energy efficiency.	Minor Exception (Table 9)	Consistent
BUILDING MATERIALS & ARCHITECTURE			
Facade(s) – Primary Exterior Finish	Brick, wood siding, fiber cement siding, stucco, stone.	Minor Exception (Table 12)	Consistent
Facade – Location of Materials	Combined horizontally with heavier material below the lighter material.	Minor Exception (Table 12)	Minor Exception Requested
DEVELOPMENT STANDARDS			
Trash / Recycling Receptacles:	Location – All Building Types: Prohibited on frontage(s).	Major Exception (Table 9)	Consistent (Staff Determination)

REQUESTED EXCEPTIONS

Section 9231.5 of the DZC, allows specific requirements to be modified with approval of an exception. Table 29, Exception Procedures, establishes two levels of exceptions, major and minor, and the procedures for the review and processing of exceptions. Upon review of Staff the following major and minor exceptions to the DZC development and design standards are required

or requested. As noted in DZC Table 29, the below exceptions may be granted with approval by the Planning Commission.

1) Existing Building – Frontage Type (Major Exception Required)

- *Requirement: Exterior modifications and additions to existing buildings with nonconforming facade orientation shall utilize an allowed frontage type as required by Table 6.*
- Major Exception – Required: Given the current layout, orientation, and architectural character of this existing building, adhering strictly to an allowed frontage type per Table 6 would require substantial structural changes, essentially amounting to a complete rebuild given its unique shape and orientation to the frontage. Such a modification would not only be impractical but would also conflict with the City of Ukiah’s goals for sustainability and environmental responsibility, which prioritize the adaptive reuse of existing buildings.

The building’s current orientation, which does not meet the prescribed frontage types, is a legacy condition. Modifying this facade to meet current DZC standards would compromise the project’s sustainability objectives by necessitating major demolition and reconstruction activities, while only minimal upgrades are presently requested to reoccupy structure. Additionally, the building’s unique angled rooflines and architectural features, including its Trombe wall, add character to the commercial area and would be challenging to replicate under a strict frontage requirement.

Furthermore, the DZC emphasizes flexibility in reusing existing structures as a means to foster a vibrant and sustainable commercial corridor. As this project aligns closely with the DZC’s broader objectives—supporting local businesses, enhancing pedestrian connectivity, and minimizing environmental impacts—a Major Exception for the facade orientation is both reasonable and consistent with the DZC’s intent. This exception allows Redwood Credit Union to preserve the architectural integrity of the existing building while updating its functionality and aesthetic.

The requested exception aligns with the DZC’s purpose and is therefore appropriate for consideration by the Planning Commission. By allowing this exception, the City can ensure that the structure retains its architectural distinctiveness.

2) Existing Facilities (Parking) – Modifications

- *Requirement: Modifications to existing parking facilities shall comply with the requirements of Tables 16, 17 and 18.*
- Minor Exception – Requested: In accordance with Table 18 of the DZC, existing open parking facilities that were legal at the time of their creation are recognized as legal nonconforming uses. While Redwood Credit Union does not intend to expand the parking area at 414 East Perkins Street, they do propose minor modifications aimed at improving accessibility, circulation, and connectivity—particularly by creating a new access connection and walkway to the adjacent Pear Tree Center.

These proposed improvements align with the City's objectives for increased modal connectivity. Given the requirements of Tables 16, 17, and 18, however, even relatively minor modifications to existing parking areas that require consistency with current DZC standards for layout, accessibility, and design can be costly and counterproductive to adaptive reuse that would otherwise be permitted if the parking lot remained unchanged.

The applicant's modifications are intended to:

- i. Enhance ADA accessibility by refining access points and walkways and installing improvements (e.g. tactile warning surfaces, signage and accessible routes); and
- ii. Improve overall circulation to better delineate pedestrian and vehicular areas, which would improve public safety and connectivity; and
- iii. Create a new connection to the Pear Tree Center, promoting ease of access and further distribute vehicular traffic, while creating a new pedestrian path; and
- iv. Reduce the number of parking spaces to accommodate landscaping, trash enclosures, and backup generator.

To accommodate these updates, a Minor Exception is required so that the modifications conveyed above can be made without being subject to the comprehensive DZC standards outlined in Tables 16, 17, and 18. The proposed circulation pattern allows for queuing to occur on-site, while reducing pressure on the existing on-site encroachment onto Perkins Street. While the facility remains autocentric, Staff considers the requested modification an incremental improvement to a facility that previously served a similar purpose.

The proposed updates will leave most of the existing parking unchanged, while making the site area more functional and accessible, benefiting both the property itself and the adjacent commercial property with only minimal alterations.

Given the nonconforming but legally established status nature of the existing parking facility, these improvements provide a balanced approach to the regulatory environment created by the DZC, thereby supporting improvements without extensive redevelopment.

3) Facade – Location of Materials – Minor Exception Requested

- *Requirement:* Combined horizontally with heavier material below the lighter material.
- *Minor Exception – Requested:* The architectural design at 414 East Perkins Street is characterized by angular forms and unique, modernist lines that create a visually distinctive, dynamic facade. The Redwood Credit Union's proposal to forgo the horizontal base banding requirement aligns with the intention to preserve this existing aesthetic while avoiding visual clutter that could detract from the building's character. The project architect has highlighted that adding horizontal base banding, as required by the DZC, would compete with the

structure's angular design, leading to a visually overwhelming appearance. The base banding requirement typically serves to add stability and grounding to a building's appearance, especially when transitioning between lighter and heavier materials. In this case, however, the building's design already achieves a grounded aesthetic through its massing, scale, and material choice, which collectively fulfill the intent of the DZC's requirement.

Therefore, an exception to this requirement would not compromise the appearance or stability of the facade. Additionally, the building's design features a complexity in form and massing that would be diluted by the addition of horizontal bands. Adding such a design element would impose a competing visual language that conflicts with the existing architectural style. By allowing the proposed exception, the Planning Commission can help preserve the building's architectural integrity and avoid compromising its unique character.

4) Trash / Recycling Receptacle – Consistent (Staff Determination)

- *Requirement:* Location – All Building Types: Prohibited on frontage(s).
- *Consistent:* In this proposal, the location of the trash and generator enclosures—set back from Perkins Street and positioned near the commercial entry and shipping/receiving lane of the adjacent Pear Tree Center—aligns with the DZC requirements for such enclosures regarding frontages, even though they are relatively exposed.

While the DZC typically discourages placing trash and generator enclosures on prominent frontages, the selected location in this proposal ensures they are both visually screened and strategically positioned to minimize impacts on pedestrian areas and streetscape visibility, especially along East Perkins Street. The project's design includes appropriate screening for the trash and generator areas, ensuring that they remain visually unobtrusive. Screening mitigates any potential impact on the commercial entry of Pear Tree Center, blending the enclosures with surrounding structures and landscaping.

SITE DEVELOPMENT PERMIT.

Per DZC Table 27, "Site Development Permit Procedures," all projects seeking major exceptions are considered Tier 3 Major Site Development Permits and are subject to Planning Commission approval, as outlined in Section 9231.3(c) of the DZC. As noted in DZC Table 3, financial services are an allowed use; however, there are visibility considerations related to the drive-through facility that require evaluation. That being said, the original intent and design of the facility was to obscure the drive through facility by angling the structure.

While Site Development Permit regulations are typically sourced from §UCC 9262, the DZC utilizes a slightly different set of requirements for the review, purpose, design criteria and findings.

Per UCC §9231.3(C), the following Findings must be made to recommend approval of the Site Development Permit:

Table 2: Project Consistency - Site Development Permit Findings	
Site Development Permit Findings	Staff Analysis & Findings
<p><i>The proposed project is consistent with the City of Ukiah [2040] General Plan, Ukiah City Code, and this code.</i></p>	<p>The proposal aligns with the City’s 2040 General Plan by revitalizing a longstanding vacant building (LU-11.9) and promoting sustainable development through the renovation of an existing structure (ENV-3.7). This approach also meets the intent of the Downtown Zoning Code (DZC), which encourages a sustainable community through the reuse and improvement of existing buildings (UCC §9220.1(I)). Additionally, by incrementally improving the parking lot and enhancing pedestrian connectivity with neighboring commercial areas, the project supports policies within the City’s Mobility Element (MOB-2.3).</p>
<p><i>Design: The design of the proposed project is consistent with the architectural standards of this code and compatible with the character of the neighborhood; will maintain the community’s character, provide for harmonious and orderly development, and create a desirable environment for the occupants, neighbors, and visiting public; includes the appropriate use of materials, texture, and color, which will remain aesthetically appealing and appropriately maintained; and the location and orientation of windows, doorways, and outdoor use areas reduce the potential for heat, glare, noise, or other disturbance from on-site or off-site sources.</i></p>	<p>The proposed renovation of the 414 East Perkins Street bank structure respects the building’s unique architectural style, which includes passive heating features and a Trombe wall. As requested, a minor exception was identified by RCU to forgo the horizontal base banding requirement aligning with the intention to preserve this existing aesthetic while avoiding visual clutter that could detract from the building’s character.</p> <p>While the original design aligned with the Pear Tree Center, the refresh will enhance its visual appeal and functionality, alluding to a healthy and vibrant commercial area.</p> <p>The updated design maintains the building’s distinctive architectural features while introducing creative enhancements such as a new roof, window placement and minor façade changes, ensuring the structure remains engaging and avoids a monotonous or box-like appearance. This approach honors the building’s original character while contributing to the vitality of the surrounding commercial district by effectively utilizing an existing structure.</p>

<p><i>Siting: The siting of the structure(s) on the parcel is compatible with the siting of other structures in the immediate neighborhood. This finding does not apply if the resulting setbacks are inconsistent with the requirements of the zoning district in which the parcel is located.</i></p>	<p>The structure is existing, and compatible with other improvements in the immediate commercial vicinity/neighborhood, a substantial portion of which is outside of the DZC. The proposed improvements are thoughtfully integrated to enhance an existing building by updating its features. Per Table 6, 'Existing Building', Staff determined that the project is consistent with required setbacks.</p> <p>By maintaining existing ingress and egress points, adding a new connection to the Pear Tree Center, and clearly delineating pedestrian pathways, the proposal improves vehicular and pedestrian circulation. These modifications ensure safer, more convenient access for additional modalities, including bicycles, without introducing new hazardous conditions.</p>
<p><i>Ingress, Egress, Circulation, Parking: The project provides adequate ingress, egress, parking for vehicles and bicycles, and internal circulation for vehicles, bicycles, pedestrians, and delivery vehicles designed to promote safety and convenience and to conform to City standards and will not create potential traffic, pedestrian, or bicycle hazards or a distraction for motorists. Low impact development (LID) design has been incorporated into the project where feasible.</i></p>	<p>By adding a vehicular connection to the Pear Tree Center along its eastern periphery, the project supports improved onsite circulation. This additional connection to the existing parking lot area will facilitate more effective dispersal of vehicular traffic that utilize the bank facility or drive-through.</p> <p>The project design, as proposed, includes a sidewalk along its easterly frontage that enhances pedestrian access to the property and Pear Tree Center where no sidewalk previously existed. Additionally, the project enhances circulation and accessibility by increasing bicycle parking capacity to five spaces and positioning that bicycle parking in a prominent location near the Perkins Street entrance.</p> <p>As the project includes replacing impervious surfaces (e.g., parking lots, driveways, or roofs), LID measures will be required to manage the increased stormwater runoff, as determined necessary by the City of Ukiah Low Impact Development (LID) Manual utilized by Santa</p>

	Rosa and Sonoma County (see City of Ukiah Resolution No. 2014-27).
<p><i>Landscaping: The landscaping for the project provides opportunities for shading west and south facing windows and outdoor use areas, utilizes native and drought tolerant species, is in keeping with the character and design of the project, and consistent with requirements of this code and City standards.</i></p>	<p>The project includes enhanced landscaping to effectively screen and separate the existing structure and drive through facility. In particular, the return of irrigated landscaping and new parking lot trees serve to enhance the property. New planting areas, including trees for shading, enhance visual appeal and provide a buffer from the vehicular traffic. The landscaping also breaks up paved areas, improving both aesthetics and environmental quality, such as heat island reduction, while contributing to a more pedestrian-friendly environment.</p> <p>While some landscaping is removed to accommodate improved circulation, enhancements are made elsewhere on the property to increase landscaping and shade coverage.</p> <p>In total, per the Estimated Total Water Use Table within the submitted landscaping plan, the total area landscaped is approximately 3,993 square feet or approximately 13% of the site.</p>
<p><i>Resource Protection: The proposed project will not excessively damage or destroy resources or natural features, including cultural and historic resources, trees, shrubs, creeks, and the natural grade of the site.</i></p>	<p>The proposed renovation of the 414 East Perkins Street nonconforming structure by Redwood Credit Union (RCU) will not excessively damage or destroy natural features on the site. The project will retain existing trees, while incorporating additional drought-tolerant, native plants to enhance the site. The natural grade of the site will be minimally disturbed, ensuring that the development preserves the site's environmental integrity while improving its functionality and aesthetic appeal.</p>
<p><i>Health, Safety, Welfare: The proposed project would not be detrimental to the public health, safety, or welfare; is not materially injurious to the properties or improvements in the immediate vicinity; and will not tend to</i></p>	<p>To be sure, a similar use operated within the structure for more than three decades without compromising the health, safety, or welfare of the public, as conveyed by public agencies that reviewed the project. While the site remains</p>

<p><i>cause the surrounding area to depreciate materially in appearance or value or otherwise discourage occupancy, investment, or orderly development in the area.</i></p>	<p>autocentric, the proposed renovation of the legal nonconforming structure by RCU is not expected to have any detrimental impact on the orderly development of the area. In fact, it may contribute to its revitalization as a commercial corridor and encourage additional investment in adjacent parcels, which have remained vacant. Given the nearby land use of a commercial shopping center, the project will complement existing development in a sustainable manner by repurposing an existing structure that was previously utilized for a similar purpose. The proposed renovation will enhance the site's circulation, access, and landscaping, further complementing the surrounding commercial environment and improving the overall functionality and appeal of the Perkins Street corridor without negatively impacting neighboring properties.</p>
---	--

Use Permit Findings – Minor

The subject structure was not involuntarily damaged or destroyed by accident (e.g., fire, explosion, etc.) or natural disaster (e.g., earthquake, etc.), and is therefore subject to UCC Section 9231.14(C), which regulates the *voluntary* modification of nonconforming structures. Since a nonconforming structure may undergo ordinary repair and maintenance only in a specified manner, UCC 9231.14(C), specifies how the reconstruction or structural alteration may be allowed; provided, that the review authority first determines that the modification is necessary to secure added safety or to reduce the fire hazard and/or to secure aesthetic advantages through the alignment, architecture, or closer conformity to surrounding allowed structures in the immediate neighborhood.

Table 3 outlines project consistency with the required minor use permit findings, including voluntary repair, as well as required exceptions:

Table 3: Project Consistency – Minor Use Permit Findings	
Minor Use Permit Findings	Staff Analysis & Finding
<p><i>The proposed land use is consistent with the provisions of this Title as well as the goals and policies of the City General Plan.</i></p>	<p>The proposed land use of financial services with a drive-through banking facility is consistent with both the zoning and land use designation of the subject property. Financial Services is considered an allowed use, not subject to discretionary review. The applicant's request to modify a legal nonconforming structure aligns with the intent of the Development Zoning Code</p>

	<p>(DZC), which encourages the reutilization of existing structures to promote sustainability and preserve the built environment. This structure, having served as a bank for over 30 years, is ideally suited for continued use as a financial services facility, and repurposing it helps maintain the character and functionality of the area while minimizing the environmental impact of new construction.</p>
<p><i>The proposed land use is compatible with surrounding land uses and shall not be detrimental to the public's health, safety and general welfare</i></p>	<p>The proposed land use is compatible with surrounding commercial uses, as it involves reactivating a building that was originally constructed as a drive through banking facility and will continue to serve as a financial institution with a drive through component. The structure has been vacant since 2016 and leaving it idle creates quality of life issues for adjacent property owners, as evidenced by the referral response of UPD (Attachment 3). Allowing for the requested improvements, ensures the building serves a productive role in the community, supporting the local economy without imposing additional burdens on municipal resources, such as police or code enforcement.</p>
<p><i>The reconstruction or structural alteration of a nonconforming structure may be allowed with Zoning Administrator approval of a minor use permit; provided, that the review authority first determines that the modification is necessary to secure added safety or to reduce the fire hazard and/or to secure aesthetic advantages through the alignment, architecture, or closer conformity to surrounding allowed structures in the immediate neighborhood, and only in compliance with subsections C1 and C2 of this section.</i></p>	<p>The proposed improvements to 414 East Perkins Street will enhance the property's compatibility with the surrounding neighborhood, which is characterized by a mix of commercial and retail structures, a portion of which is outside of the DZC. There does not appear to be any conforming DZC structure in proximity to the subject property. By renovating an existing commercial building and adapting it for use by Redwood Credit Union (RCU), the project will better align the site with the scale and function of neighboring commercial undertakings, particularly the Pear Tree Center, which remains an active commercial center with few vacancies.</p> <p>By enhancing the appearance and functionality of the site, the project is expected to encourage further investment and development in the immediate area. The revitalization of this existing</p>

	structure will provide a visual and operational upgrade that encourages improvements to surrounding commercial properties.
<p><i>Exception Findings: The request is consistent with the intent of this code and the Ukiah General Plan; The project is compatible with the neighborhood and design intent of this code</i></p> <p><i>The project provides appropriate connections, transitions, and relationships between buildings and the street, adjacent properties and one another; The project provides adequate and appropriate pedestrian facilities and connections; The project would not impair the desirability of investment, employment, or residence in the neighborhood; The project is not detrimental to the public's health, safety and general welfare</i></p>	<p>Many of the requested considerations are separately addressed as required findings for the minor use permit or major site development permit. While the proposed project maintains the drive-through function of the original bank, it aligns with the City's General Plan by enhancing pedestrian circulation and multimodal access. By improving site connectivity with new walkways, bicycle parking, and landscaping, the project fosters a more pedestrian-friendly environment. Importantly, this proposal demonstrates that making productive use of underutilized or vacant spaces is essential. Even if incremental, this revitalization represents a meaningful alternative to leaving the structure dormant, which would hinder the City's long-term goals of sustainable development and commercial vitality along a critical commercial corridor that connects the City's downtown to the U.S. 101.</p>
<p><i>The findings shall not be vague and conclusionary. The findings shall be sufficiently detailed to apprise a reviewing court of the basis for the action by bridging the gap between the evidence and the decision-maker's conclusions and shall be based upon evidence contained in the administrative record.</i></p>	

ENVIRONMENTAL DOCUMENTATION

The proposed project at 414 East Perkins Street is subject to the California Environmental Quality Act (CEQA) and qualifies for a categorical exemption under CEQA Guidelines, Article 19, Class 1, Section 15301 (Existing Facilities) (a), which covers minor interior or exterior alterations.

The project involves modest renovations to an existing 4,400-square-foot commercial structure, avoiding any significant changes to the building's footprint or surrounding site. The planned modifications by Redwood Credit Union (RCU) will not damage or disturb any significant natural features on the property.

Additionally, the project is consistent with existing zoning and planning regulations, including the 2040 General Plan, Downtown Zoning Code requirements, and other relevant local policies, aligning with the City's established land-use expectations for the site. Upon review, it has been determined that the project will not impact sensitive environmental resources, such as habitats



COMMUNITY DEVELOPMENT DEPARTMENT

AGENDA ITEM NO. 6a
Department of Community Development
300 Seminary Ave.
Ukiah, CA 95482
planningdivision@cityofukiah.com

for endangered species, geologically sensitive areas, or sites of historical or archaeological importance.

STAFF REQUEST

Staff is requesting the DRB review the project for consistency with the Downtown Zoning Code standards and discretionary permit findings to make a recommendation to the Planning Commission.

ATTACHMENTS

1. Application; Project Description; Site Plan; Landscape and Photometric Plan; Color and Materials Board; Architectural Details & Elevations; Maps; Interior Photographs
2. Original Entitlement Documents (1980-1982)
3. Agency Referral Responses



City of Ukiah

Community Development Department
 Planning Division
 300 Seminary Ave., Ukiah CA 95482
 Email: planning@cityofukiah.com
 Web: www.cityofukiah.com
 Phone: (707) 463 -6268
 Fax: (707) 463-6204

Planning Permit Application

PROJECT NAME: Redwood Credit Union - 414 E. Perkins St. Remodel					
PROJECT ADDRESS/CROSS STREETS: 414 E. Perkins St.				AP NUMBER(S): 002-200-035	
APPLICANT/AUTHORIZED AGENT: AXIA Architects, Doug Hilberman		PHONE NO: 707.542.4652	FAX NO:	E-MAIL ADDRESS: dhilberman@axiaarchitects.com	
APPLICANT/AUTHORIZED AGENT ADDRESS: 540 Mendocino Avenue			CITY: Santa Rosa		STATE/ZIP: CA, 95401
PROPERTY OWNER IF OTHER THAN APPLICANT/AGENT: Lam T. Mai, Trustee		PHONE NO: 707.514.6061	FAX NO:	E-MAIL ADDRESS: emgirl312000@yahoo.com	
PROPERTY OWNER ADDRESS IF OTHER THAN APPLICANT 2001 Vichy Springs Road			CITY: Ukiah		STATE/ZIP: CA 95482
HAS YOUR PROJECT RECEIVED A PRELIMINARY REVIEW? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
<input type="checkbox"/> AIRPORT LAND USE COMM. DETERMINATION REFERRAL 100.0800.611.003	\$	<input type="checkbox"/> REZONING – PLANNED DISTRICT 100.0800.611.001	\$	<input type="checkbox"/> USE PERMIT – AMENDMENT 100.0400.449.001	\$
<input type="checkbox"/> ANNEXATION 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT – AMENDMENT 100.0400.449.001	\$	<input type="checkbox"/> USE PERMIT – MAJOR 100.0400.449.001	\$
<input type="checkbox"/> APPEAL 100.0400.449.001	\$	<input checked="" type="checkbox"/> SITE DEVELOPMENT PERMIT – MAJOR 100.0400.449.001	\$	<input checked="" type="checkbox"/> USE PERMIT – MINOR 100.0400.449.001	\$
<input type="checkbox"/> GENERAL PLAN AMENDMENT 100.0800.611.001	\$	<input type="checkbox"/> SITE DEVELOPMENT PERMIT – MINOR 100.0400.449.001	\$	<input type="checkbox"/> VARIANCE – MAJOR 100.0400.449.001	\$
<input type="checkbox"/> MURAL PERMIT 100.0400.449.001	\$	<input type="checkbox"/> SPECIFIC/MASTER PLAN 100.0800.611.003	\$	<input type="checkbox"/> VARIANCE – MINOR 100.0400.449.001	\$
<input type="checkbox"/> PRE-DEVELOPMENT MEETING 100.0800.611.003	\$	<input type="checkbox"/> MINOR SUBDIVISION/TENTATIVE PARCEL MAP (4 OR FEWER LOTS) 100.0800.610.001	\$	<input type="checkbox"/> ZONING AMENDMENT MAP OR TEXT 100.0800.611.001	\$
<input type="checkbox"/> STAFF RESEARCH (MORE THAN 1 HOUR) 10023100.41153	\$	<input type="checkbox"/> MAJOR SUBDIVISION/TENTATIVE SUBDIVISION MAP (5 OR MORE LOTS) 100.0800.610.001	\$	<input type="checkbox"/> REZONING 100.0800.611.001	\$
<input type="checkbox"/> LOT LINE ADJUSTMENT OR MERGER 100.0800.610.001	\$	<input type="checkbox"/> OTHER	\$	<input type="checkbox"/> OTHER	\$
COUNTY CEQA FILING FEE: CHECK PAYABLE TO MENDOCINO CO.	\$ 50	MAJOR PERMIT DEPOSIT:	\$ 3000	FILING DATE: 10/08/2024	
COUNTY CEQA (NEG DEC) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$ -	MINOR PERMIT FEE:	\$ -	TOTAL AMOUNT PAID: \$ 3000	
COUNTY CEQA (EIR) FEE: CHECK PAYABLE TO MENDOCINO CO.	\$ -	TOTAL FEE:	\$ -	RECEIPT NUMBER: -	
APPLICATION NUMBER(S): PA24-000015					

Recommendation: Prior to submitting an application, discuss your project with Staff to discover what fees (sewer, water, in-lieu park fees, traffic impact fees, etc.) may be required for your project. Also, ask about street tree requirements, required sidewalk repairs, drainage issues, storm water mitigation requirements, frontage improvements, etc.

Project Description

Please attach a written project description including summary of work (both interior and exterior for construction and operation) and/or business proposed. The purpose of the project description is to assist Staff in understanding the project. The project description will also be included in the Staff Report required to review (and ultimately approve or deny) the planning permit. Providing complete information will help expedite the project review process and in determining what additional information, if any, related to the project and required environmental review is required.

Environmental Review and Reports

Please be aware that projects are required to comply with the California Environmental Quality Act (CEQA). Projects will be reviewed by Staff for compliance with CEQA and Staff will determine the appropriate CEQA document to prepare for the project (exemption, negative declaration, etc.). In order to make this determination, specific reports (traffic, arborist, soils, etc.) and or additional information may be required.

Use Information

Please provide the following information related to the use of the site and building:

Description of Building & Site			
Parcel Size:	Building Size:	Number of Floors:	
Use of Building (check all that apply)	Description	Square Footage	Number of Units/Suites
<input checked="" type="checkbox"/> Office (business/professional)	Financial Branch	4,700 sq ft	+/- 15 Rooms
<input type="checkbox"/> Office (medical/dental)			
<input type="checkbox"/> Retail			
<input type="checkbox"/> Light Industrial			
<input type="checkbox"/> Residential			
<input type="checkbox"/> Other:			
Operating Characteristics			
Days and Hours of Operation: M-F: 9am - 5pm; Sat: 9am - 2pm			
Number of Shifts:		Days and Hours of Shifts:	
Number of Employees/Shift:			
Loading Facilities: <input type="checkbox"/> Yes <input type="checkbox"/> No		Type/Vehicle Size:	
Deliveries: <input type="checkbox"/> Yes <input type="checkbox"/> No		Type:	Number (day/week/month):
Time(s) of Day:			
Outdoor areas associated with use? (check all that apply) <input type="checkbox"/> Yes <input type="checkbox"/> No		Sales area: <input type="checkbox"/> Yes <input type="checkbox"/> No	Unloading of deliveries: <input type="checkbox"/> Yes <input type="checkbox"/> No
Square Footage:		Square Footage:	Storage: <input type="checkbox"/> Yes <input type="checkbox"/> No
Square Footage:		Square Footage:	Square Footage:
Noise Generating Use? <input type="checkbox"/> Yes <input type="checkbox"/> No		Description:	

To Be Completed by Staff

General Plan Designation: DZC	Zoning District: UC	Airport Land Use Designation: Zone 6
City's Architectural & Historic Inventory: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Age of Building: ±42 Years	Demolition Policy:
Hillside: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	Flood Designation FIRM Map: 0.2 Pct Annual	Flood Designation Floodway Map: SFHA
Tree Policies		
General Plan Open Space Conservation <input type="checkbox"/> NO <input type="checkbox"/> YES GOAL/POLICY #:		Community Forest Management Plan <input type="checkbox"/> NO <input type="checkbox"/> YES GOAL/POLICY #:
Landscaping and Streetscape Design Guidelines <input type="checkbox"/> NO <input type="checkbox"/> YES GUIDELINE #:		Commercial Development Design Guidelines <input type="checkbox"/> NO <input type="checkbox"/> YES GUIDELINE #:
Tree Protection and Enhancement Policy <input type="checkbox"/> NO <input type="checkbox"/> YES NOTES:		Tree Planting and Maintenance Policy <input type="checkbox"/> NO <input type="checkbox"/> YES NOTES:
UCC: Street Tree Policy, Purpose and Intent <input type="checkbox"/> NO <input type="checkbox"/> YES NOTES:		Other:
Notes		

I, Lam T. Mai, Trustee, owner authorize AXIA Architects, Doug Hilberman to act on my behalf for this project and I have read and agree with all of the above. (Application must be signed by owner).

Signed by:  10/2/2024 | 4:14 PM PDT
PROPERTY OWNER SIGNATURE **DATE**

I, Lam T. Mai, Trustee, am the owner / authorized agent of the property for which the development is proposed. The above information and attached documents are true and accurate to the best of my knowledge. I have read and agree with all of the above.

I hereby authorize employees of the City of Ukiah, the City's authorized agents, and persons with review or decision making authority for the project to enter upon the subject property, as necessary, to inspect the premises, post notices, and process this application.

I understand that conditions of approval may be placed on my project by the city of Ukiah and it is my responsibility to fully understand the conditions and ask questions about them before action is taken on my planning permit.

Signed by:  10/2/2024 | 4:14 PM PDT
 OWNER AUTHORIZED AGENT **DATE**

INDEMNIFICATION AGREEMENT

As part of this application, the applicant agrees to defend, indemnify, and hold harmless the City of Ukiah, its agents, officers, council members, employees, boards, commissions or Council from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void, or annul any approval of the application or related decision, or the adoption or certification of any environmental documents or negative declaration which relates to its approval. This indemnification shall include, but is not limited to, all damages, costs, expenses, attorney fees or expert witness fees that may be awarded to the prevailing party arising out of it or in connection with the approval of the application or related decision, whether or not there is concurrent, passive, or active negligence on the part of the City, its agents, officers, council members, employees, boards, commissions of Council. If for any reason, any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

The City of Ukiah shall have the right to appear and defend its interests in any action through its City Attorney or outside counsel. The applicant shall not be required to reimburse the City for attorney's fees incurred by the City Attorney of the City's outside counsel if the City chooses to appear and defend itself in the litigation.

I have read and agree to all of the above.

Lam T. Mai, Trustee  10/2/2024 | 4:14 PM PDT
 PROPERTY OWNER AUTHORIZED AGENT
(PLEASE PRINT NAME)

PROPERTY OWNER / AUTHORIZED AGENT **DATE**
(SIGNATURE)

Revised 08/19/2019

PROJECT SUMMARY

10.02.24, AXIA Architects

Through this Major Site Development submission, we offer to the City of Ukiah an opportunity to refresh a longstanding vacant building at 414 East Perkins Street. From a sustainability standpoint, reuse of the existing building is more environmentally friendly than demolition and reconstruction. Thus, we would like to propose reusing the existing building while incorporating elements that move it closer to the Downtown Zoning Code. The project proposes refurbishing the existing building to include the following:

- Construction of new pedestrian walkways that both connect to the project and the Pear Tree Center to the north.
- Preparation for future solar panels
- Energy efficient mechanical systems
- Enhanced energy efficient insulation
- Use of many materials with high recycled content
- Increased landscaping and shading

Within Section 9220.1-PURPOSE of the Downtown Zoning Code, the city acknowledges the desire to “support local businesses and create a vibrant downtown” and “promote and encourage a sustainable community through the reuse and improvement of existing buildings”. We believe that the improvements to the existing building and enhanced pedestrian connections will benefit both the adjacent businesses in the Pear Tree Center and the community.

PROJECT INFORMATION

Project Name	Redwood Credit Union 414 E. Perkins St Remodel
Location	414 East Perkins Street
APN	002-200-35
Current Zoning	UC Urban Center, Downtown Zoning Code
General Plan Designation	DC Downtown Core
Estimated Lot Size	0.72 Acres (31,269 SF)
Airport Compatibility	Source: Ukiah Zone 6: Traffic Pattern Zone
Proposed Use:	Financial Services Including Re-use of Drive-up ATMs Financial Services < 5,000SF are permitted in UC Zone. Drive up ATM are allowed as an accessory to primary use.
Owner’s Estimated Occupancy	Approx. 60 people at peak times (including ATM drive up que)

Ingress, Egress, Circulation:

The current site has existing ingress/egress connections to East Perkins Street and to the north commercial center. We believe an additional ingress/egress connection to the primary entry drive aisle of the adjacent Pear Tree Center would be logical and in the spirit of the DZC's desire for site access from a secondary street. Pedestrian circulation will be enhanced with a new sidewalk connecting East Perkins Street to the building entry and also the Pear Tree Center. The pedestrian circulation from the primary parking (over 12 stalls) is positioned in front of the north facing stalls and ties into the bike parking. Street trees have been added to the property as well. The layout of the parking and site circulation also stays fairly true to the existing layout of the site with improvements as noted. The parking lot has raised curbs in order for vehicle overhang to not encroach more than 2 feet into landscape areas.

Photometric and Site Lighting Notes:

- a. Photometric plans have been provided to show lighting levels on site and at adjacent properties. All blue values are zero.
- b. The photometric plans show the fixture locations, color-coded red, blue and green according to the fixture schedule provided on the first sheet.
- c. All fixtures are full cutoff as required for Dark Sky requirements.
- d. Fixtures' backlight, uplight and glare (BUG) ratings do not exceed the maximum values noted in CalGreen Table 5.106.8. The BUG ratings are noted in the lighting fixture cut sheets (attached) where the fixtures have greater than 6,200 lumen output; fixtures below that output are exempt from the BUG ratings per CalGreen 5.106.8.

Exceptions and Notations from the Downtown Zoning Code:

- 1. One Story Building: Most all of the buildings in the immediate vicinity are 1-story. The complexity of the existing angled roof lines and structure of the existing building make a second story impractical without demolition of the building, which would be less environmentally friendly than reuse.
- 2. Table 6 – PRINCIPAL BUILDING STANDARDS acknowledges minor additions to existing buildings "may continue the setbacks of the existing building". The existing building and minor additions are considered an Edge Yard Building and do not meet the setbacks of new construction identified in the DZC. The additions are cumulatively under 1,000 SF. Thus, we believe Table 6 Existing Buildings section allows the existing setbacks and building placement without exceptions needed.
- 3. Openings: Requesting minor exception to add a connection to drive aisle of adjacent shopping center parking lot. We believe this will enhance access from a logical secondary "street", thus reducing the load on the Perkins Street access.
- 4. Materials location: Minor exception requested for no base material on the building facade. We believe the angular forms of the existing architecture are busy enough without trying to add horizontal base banding.

Landscaping:

The landscaping is designed to provide shading and interest at a pedestrian level. The species selected will be drought tolerant and mostly native to the area. The project increasing landscaping around the current parking areas, including additional trees for shading.

Site Development Permits: Narrative for Section 9231.3 Required Findings:

Consistency with the Ukiah General Plan, Ukiah City Code, and Downtown Zoning Code:

The project strives to breath new life into an existing vacant building. The requested exceptions are necessary to the reuse of the building. The proposed project moves the existing property closer to conformance with the DZC. The proposed development provides community-oriented commercial services with walkable and multi-modal access. The project proposes to enhance its overall connectivity to its neighbors and the remainder of the city.

The Design:

The existing building has thoughtful architectural features including the massing, the scale of the entry, the use of natural light, the quality of materials, and the shielding of the drive-up ATM's. The proposed project intends to refurbish and enhance these. We believe adaptive reuse of the building is more sustainable than new construction. The project also proposes site enhancements described above to incorporate additional elements of the Downtown Zoning Code.

Siting:

The siting of the existing building is probably best described as "Edge Yard". While the Downtown Zoning Code expresses alternate preferences, reuse of the existing location is the most environmentally friendly solution. Most of the existing buildings in the general vicinity on both sides of the street near this project would also be considered "Edge Yard" buildings.

Ingress/Egress, Circulation, Parking: See Subsection above.

Landscaping/Trees: See Subsection above.

Resource Protection:

The project is proposed on a property with an existing building that would be remodeled. Reuse of the building, instead of demolition and new construction, saves substantial waste and impact on landfills. Currently most of the remaining site is covered in asphalt. The project proposes converting some of this to additional landscaping and pedestrian walkways. The project will also prepare for future photovoltaics. The client will be studying the different cost/benefit options and delivery models for various photovoltaic installations available.

Health, Safety, and Welfare:

The project proposes enhancements to clearly delineate between pedestrian circulation and vehicular circulation. The addition of a new pedestrian route linked to the Pear Tree Center enhances safety as well. The proposed site improvements are respectful of the adjacent neighbors in scale, circulation, connectivity, and form. Bicycle parking has been added near the building entry.



(FRONT ENTRY; SOUTH SIDE)



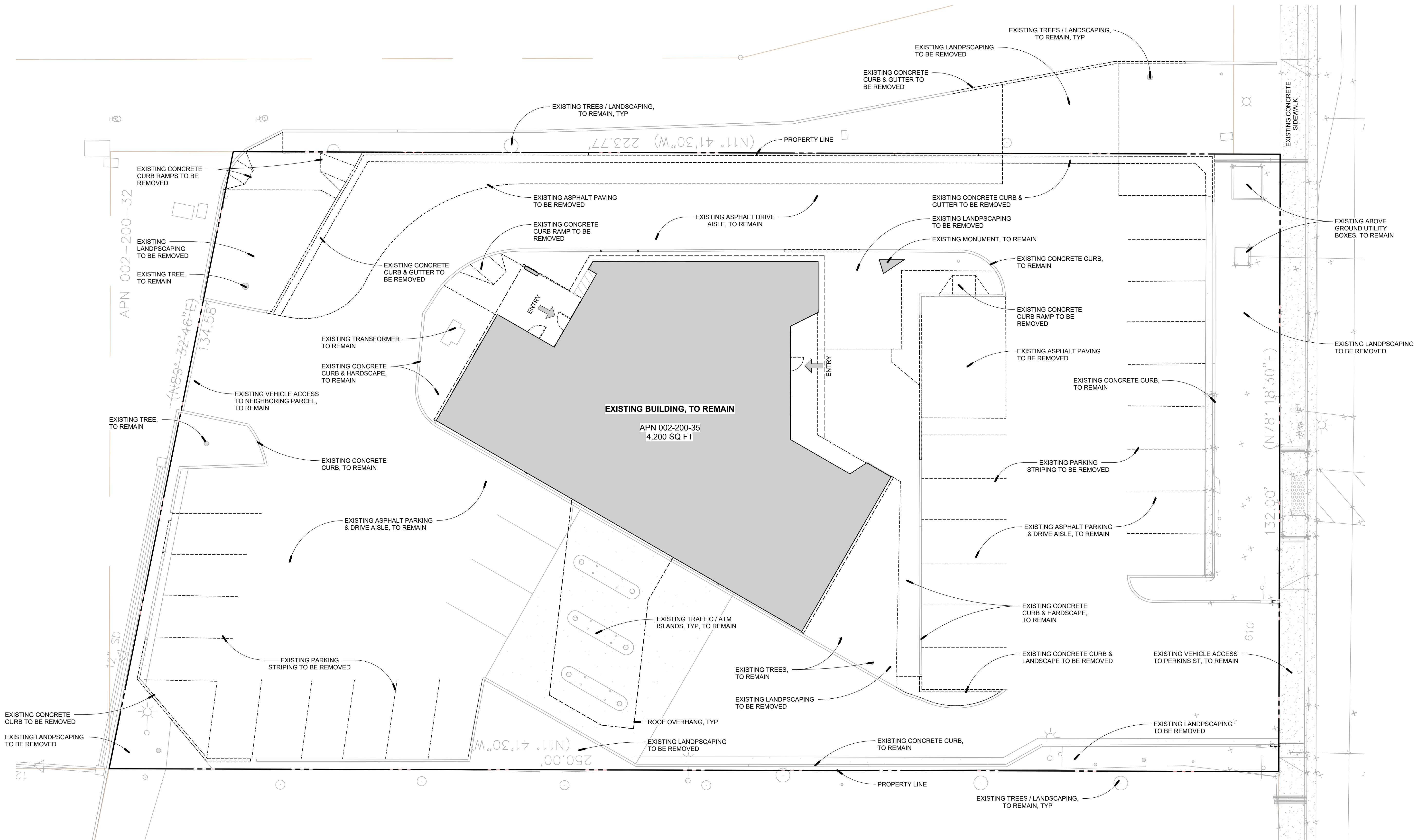
(FRONT WALL; SOUTH SIDE)

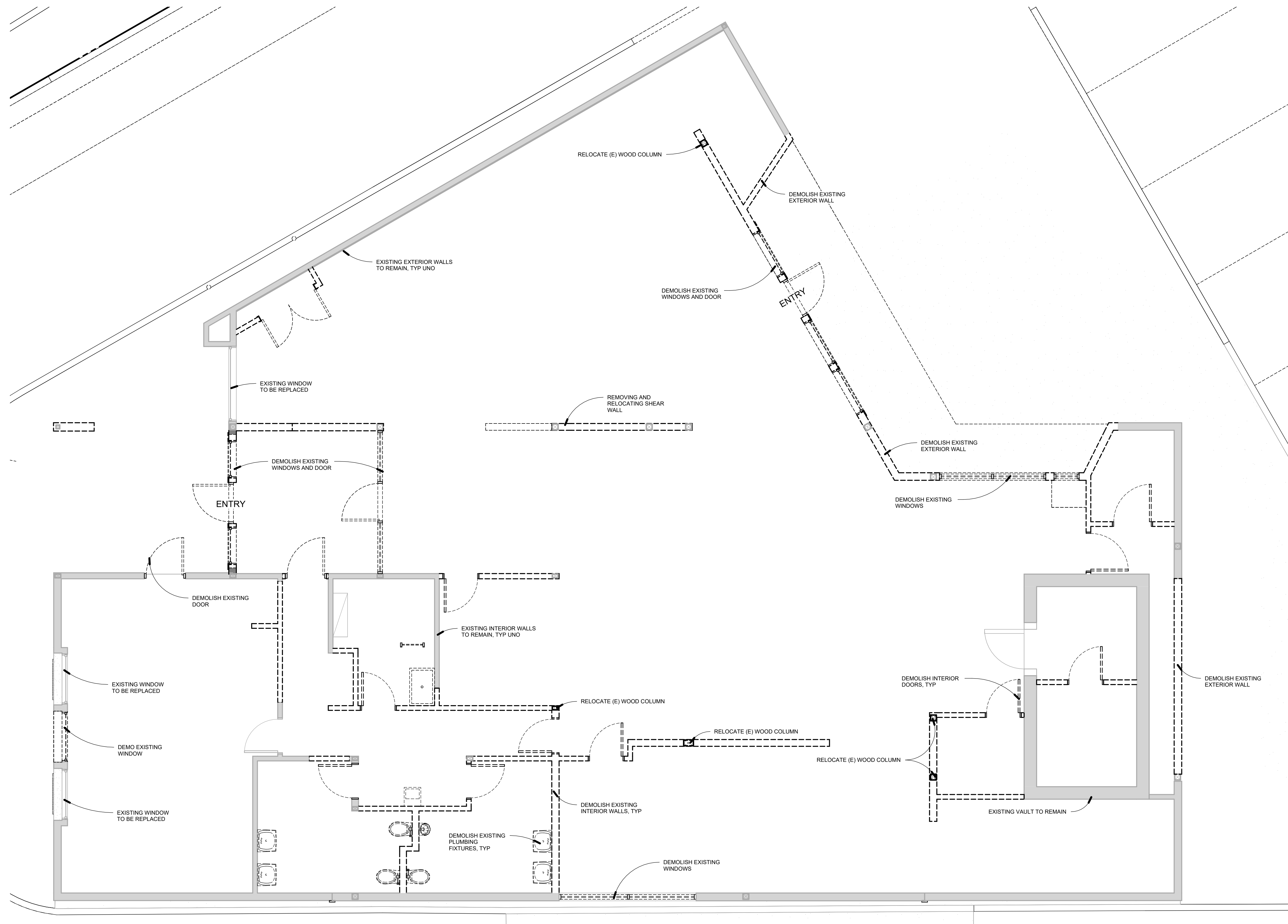


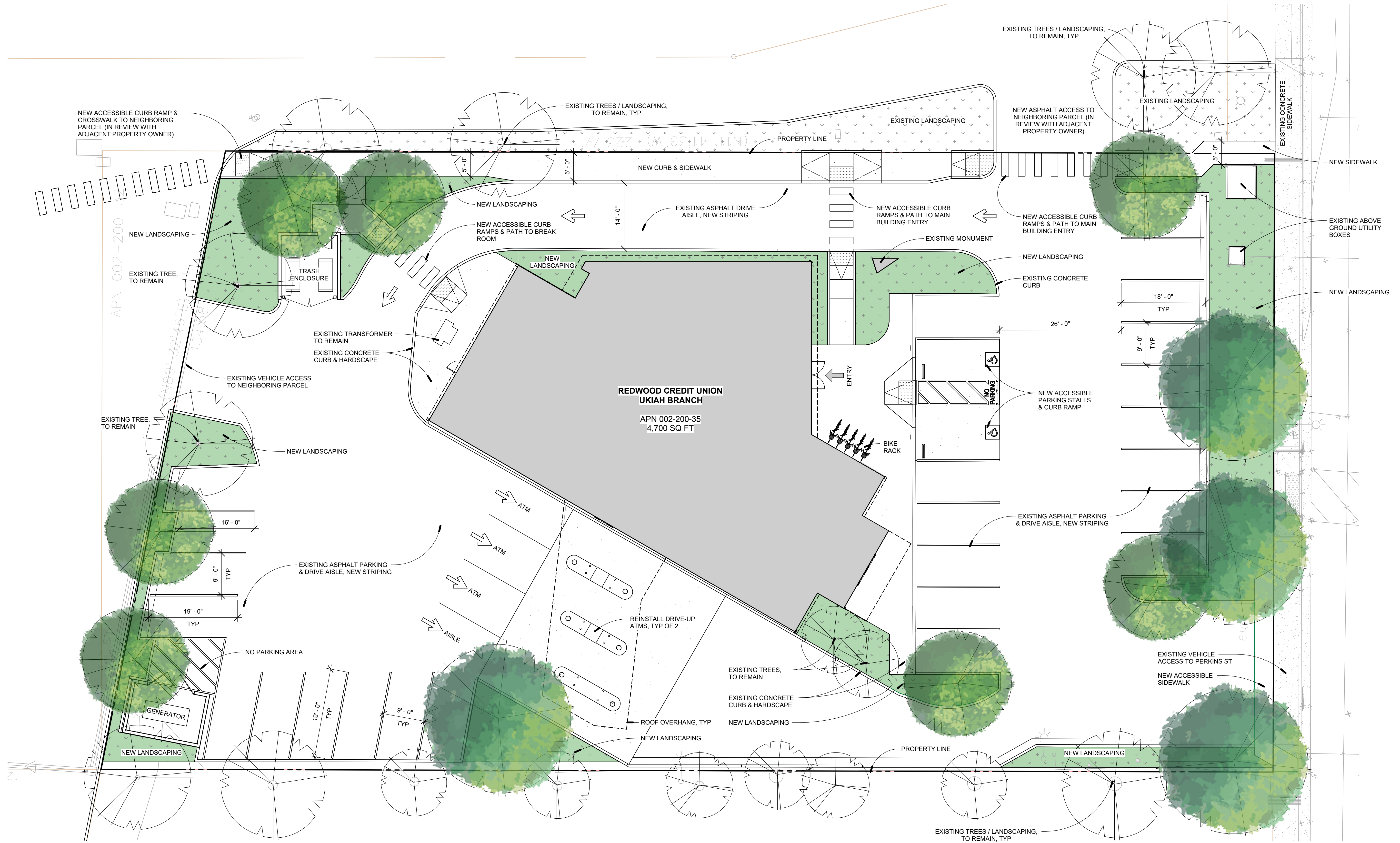
(BACK WALL; NORTH SIDE)



(BACK ENTRY; NORTH SIDE)



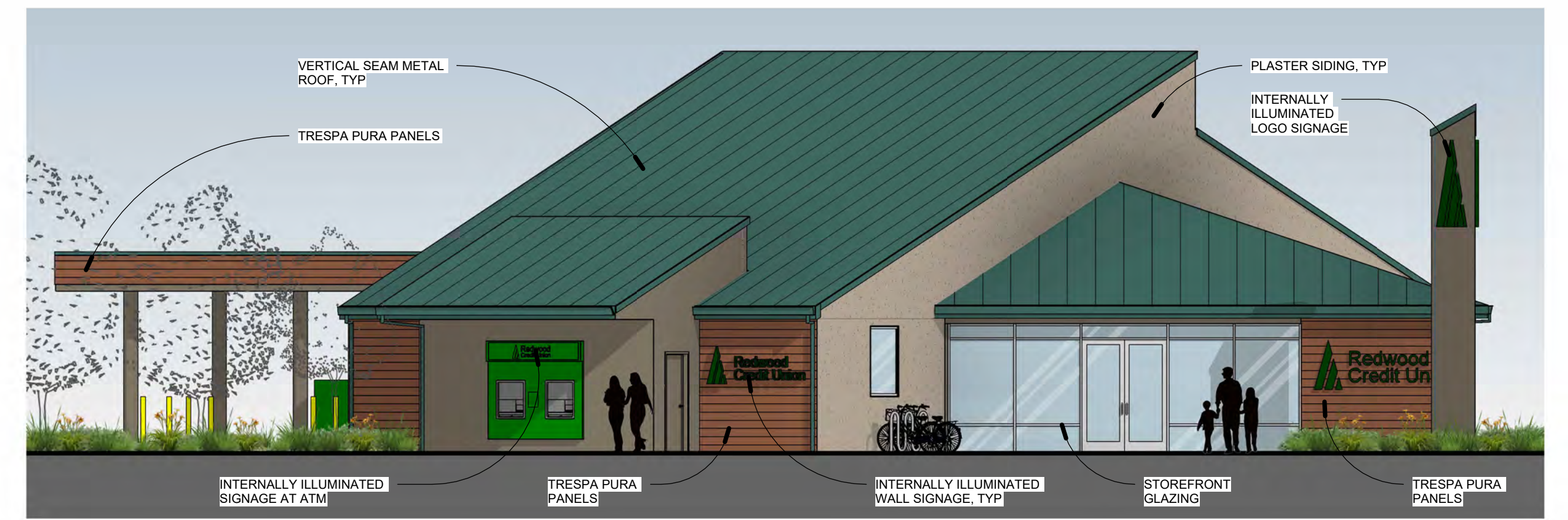






CONCEPTUAL SOUTH ELEVATION

SIGNAGE NOTE: 132' PARCEL FRONTAGE X 1.5 = 198 SQ FT ALLOWED FACING EAST PERKINS ST: LOGO & LETTERS TOTAL SIZE = 40 SQ FT



CONCEPTUAL SOUTHEAST ELEVATION



CONCEPTUAL EAST ELEVATION

SIGNAGE NOTE: 132' PARCEL FRONTAGE X 1.5 = 198 SQ FT ALLOWED FACING EASTWARD: LOGO & LETTERS TOTAL SIZE = 46 SQ FT

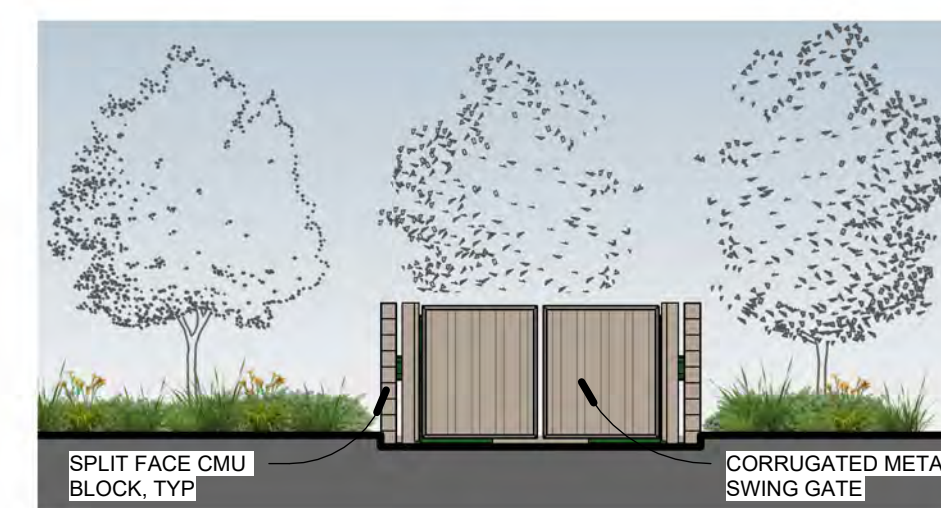


CONCEPTUAL NORTH ELEVATION



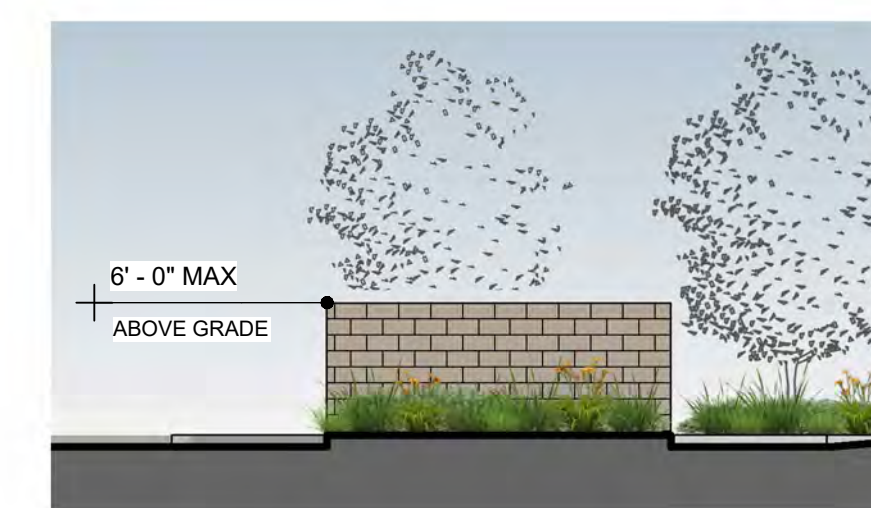
CONCEPTUAL WEST ELEVATION

SIGNAGE NOTE: 132' PARCEL FRONTAGE X 1.5 = 198 SQ FT ALLOWED FACING WESTWARD: LOGO & LETTERS TOTAL SIZE = 2.2 SQ FT

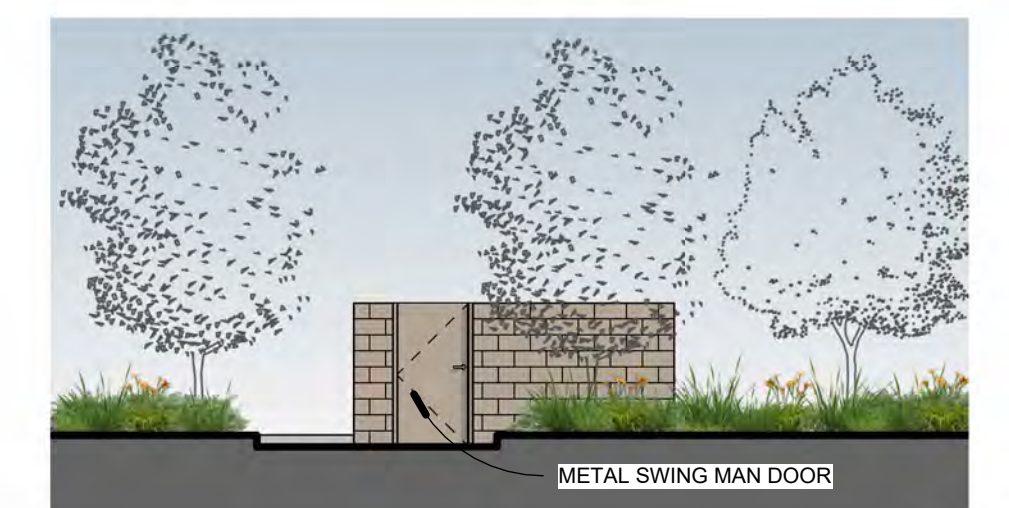


FRONT ELEVATION

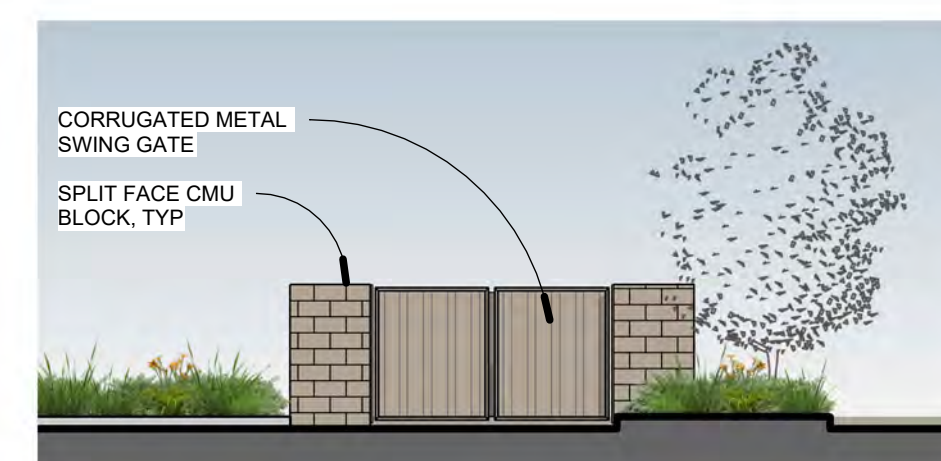
TRASH ENCLOSURE



SIDE, TYP

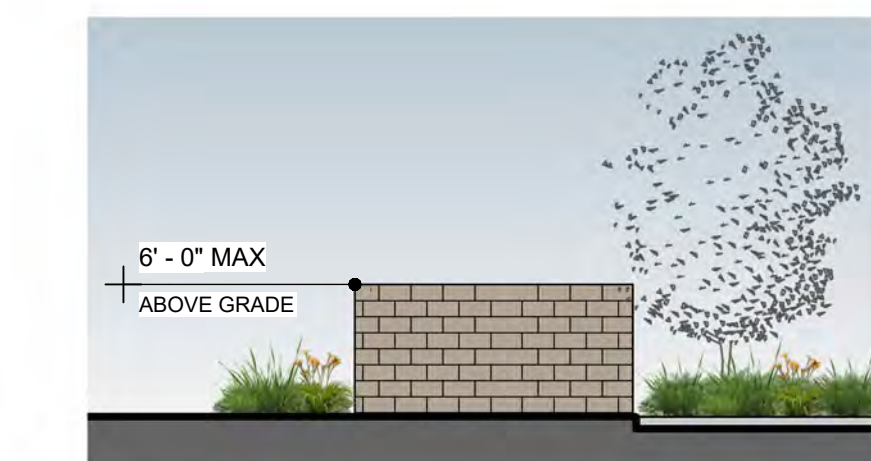


REAR

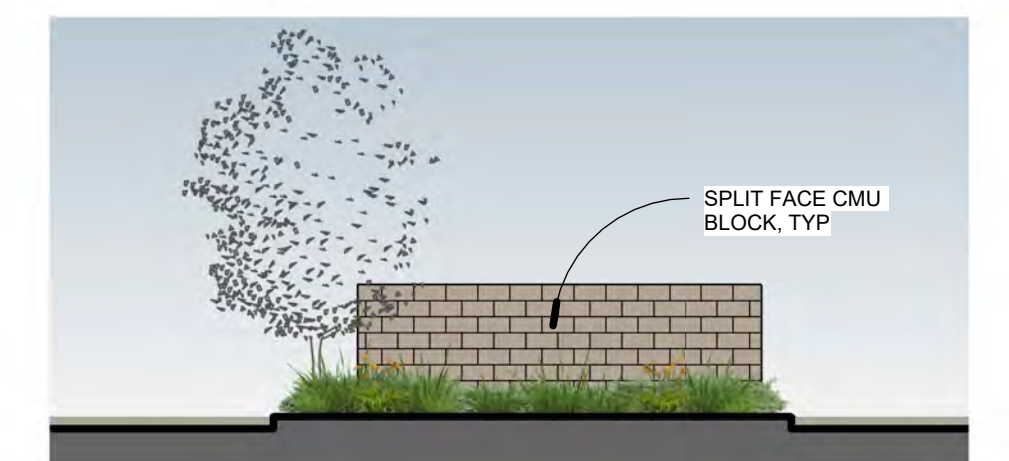


FRONT ELEVATION

GENERATOR ENCLOSURE



SIDE, TYP



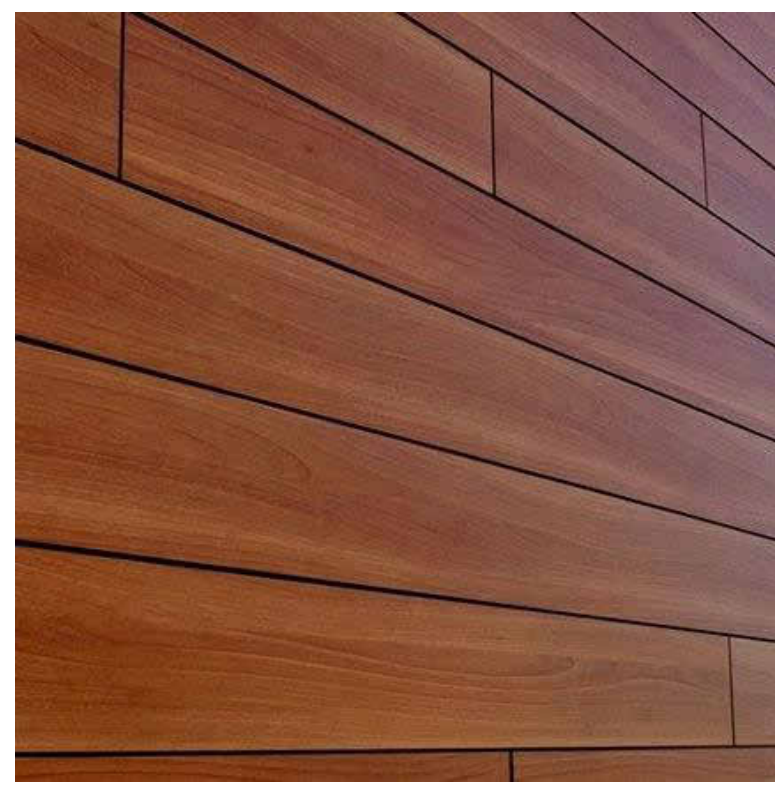
REAR



COLOR A
METAL SALES - CLASSIC GREEN



PLASTER SIDING
PAINTED



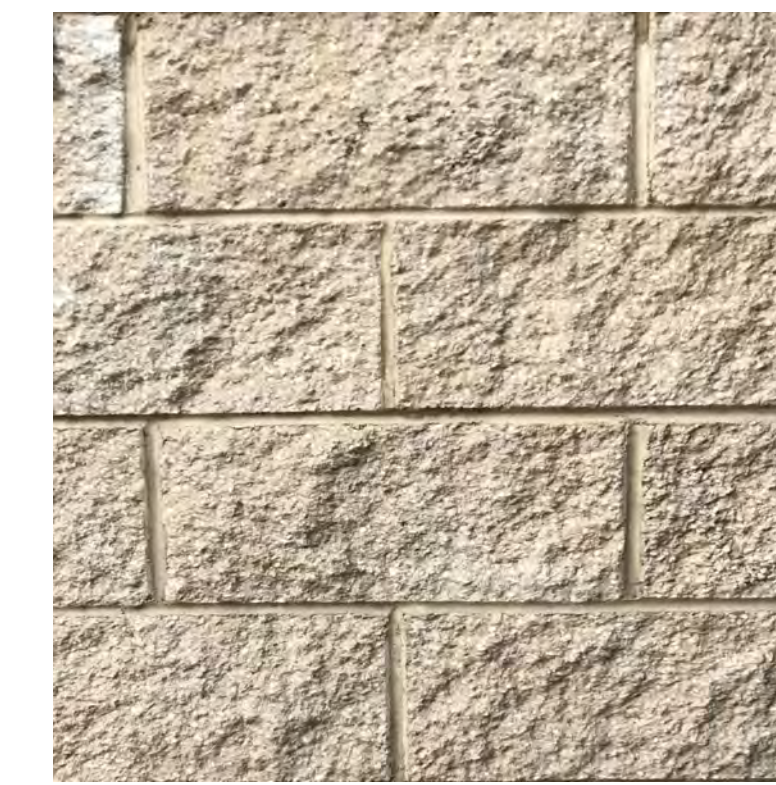
TRESPA PURA PANELS
TRESPA - ROMANTIC WALNUT



VERTICAL SEAM METAL ROOF
METAL SALES - CLASSIC GREEN



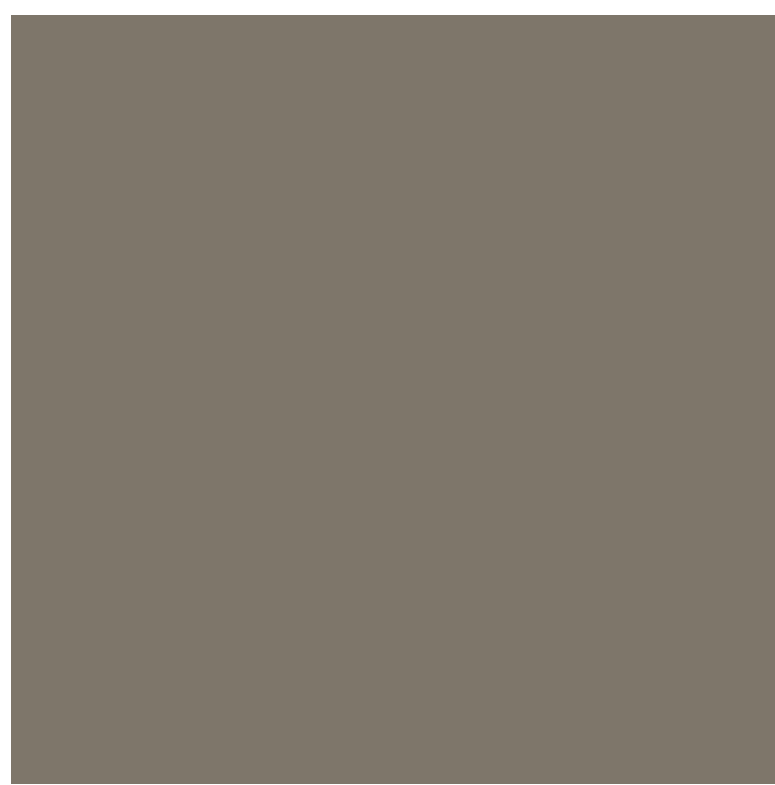
STOREFRONT GLAZING
ANODIZED ALUMINUM



SPLIT FACE CMU BLOCK
PAINTED (SITE SCREENING ONLY)



COLOR B
KELLY MOORE - TRANQUIL TAUPE



COLOR C
KELLY MOORE - BAT WING



CONCEPTUAL PERSPECTIVE - MAIN ENTRY



CONCEPTUAL SITE IMPROVEMENT DRAWINGS FOR REDWOOD CREDIT UNION IN THE CITY OF UKIAH 414 E. PERKINS STREET

APN 002-200-35-00
SEPTEMBER 2024

OWNER: REDWOOD CREDIT UNION
3033 CLEVELAND AVE
SANTA ROSA, CA. 95403
PH: (707) 545-4000

CIVIL ENGINEER: BKF ENGINEERS
200 4TH ST, STE. 300
SANTA ROSA, CA. 95401
PH: (707) 583-8500
FAX: (707) 583-8539

ARCHITECT: AXIA ARCHITECTS
540 MENDOCINO AVE
SANTA ROSA, CA 95401
PH: (707) 542-4652

DESIGN REVIEW NOTE:

THIS CONCEPTUAL SITE PLAN HAS BEEN PREPARED TO PROVIDE THE REVIEWING AGENCY WITH A DRAWING REFLECTING THE PARCEL'S EXISTING CONDITION AND THE PROPOSED CONCEPTUAL LAYOUT. MINOR ADJUSTMENTS MAY BE MADE DURING THE DEVELOPMENT OF THE CONSTRUCTION DRAWINGS TO FACILITATE THE REQUESTS OF CITY STAFF, THE BUILDING CODE AND LOCAL REGULATIONS.

THE DESIGN AND CONSTRUCTION OF ALL SITE ALTERATIONS SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, 2022 PLUMBING CODE, 2022 ELECTRICAL CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA ENERGY CODE, 2022 TITLE 24 CALIFORNIA ENERGY EFFICIENCY STANDARDS, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND CITY OF UKIAH ORDINANCES AND AMENDMENTS.

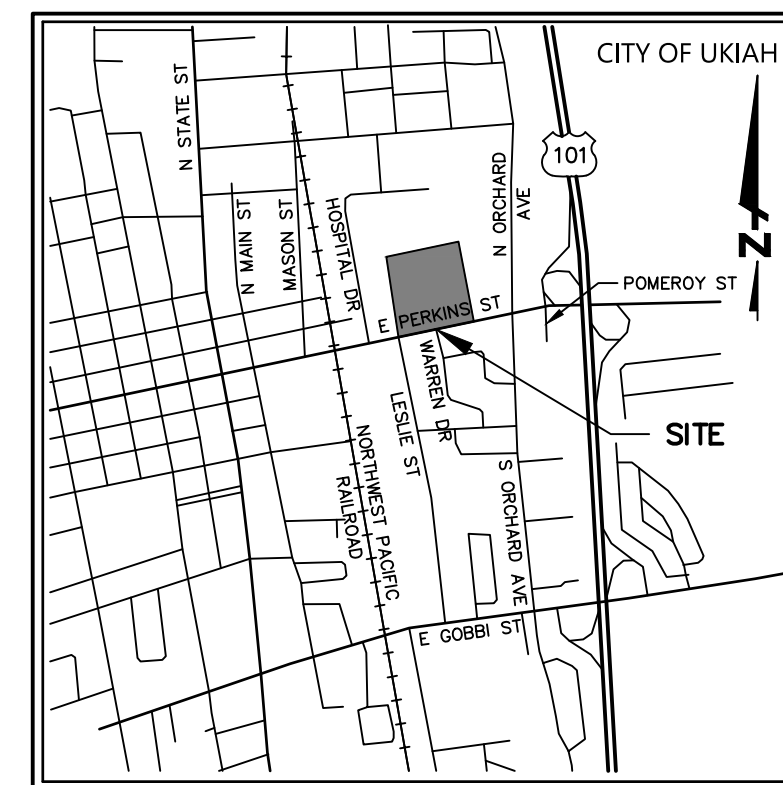
THE PROFESSIONAL PREPARING THESE DRAWINGS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THESE DRAWINGS MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS OBTAINED BY A FIELD SURVEY CONDUCTED BY BKF ENGINEERS AND SUPPLEMENTED WITH A TOPOGRAPHIC MAP OF EAST PERKINS STREET, DATED MAY 2022, PERFORMED BY BKF ENGINEERS.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THESE DRAWINGS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

THE BEARINGS AND DISTANCES SHOWN HEREON DO NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION. BOUNDARY INFORMATION SHOWN WAS DERIVED FROM AN EXISTING RECORD OF SURVEY OF THE PROPERTY FILED IN C 2 D 37 P 91, MENDOCINO COUNTY RECORDS, BY RALPH THOMAS PLS 4760.

FIELD SURVEY DATE: AUGUST 2024 BY BKF ENGINEERS.



VICINITY MAP
NOT TO SCALE

INDEX OF DRAWINGS

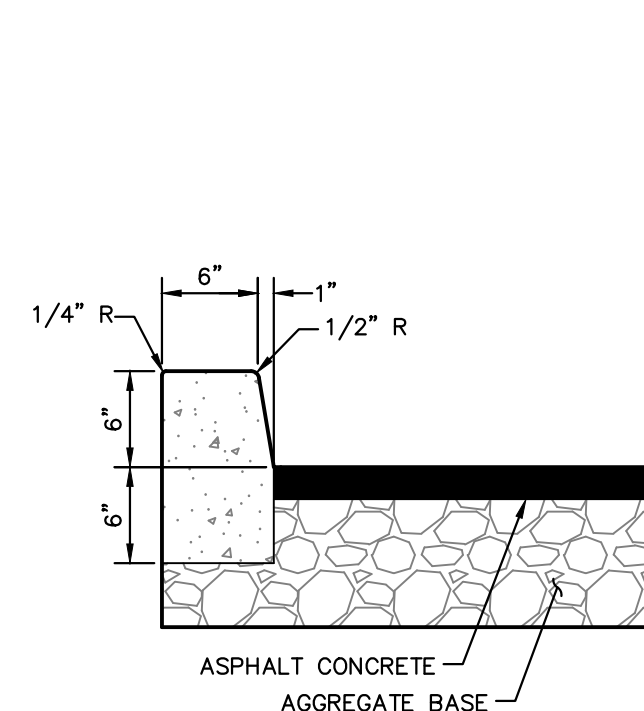
- C1. PROJECT INFORMATION
- C2. SITE IMPROVEMENT PLAN

ABBREVIATIONS

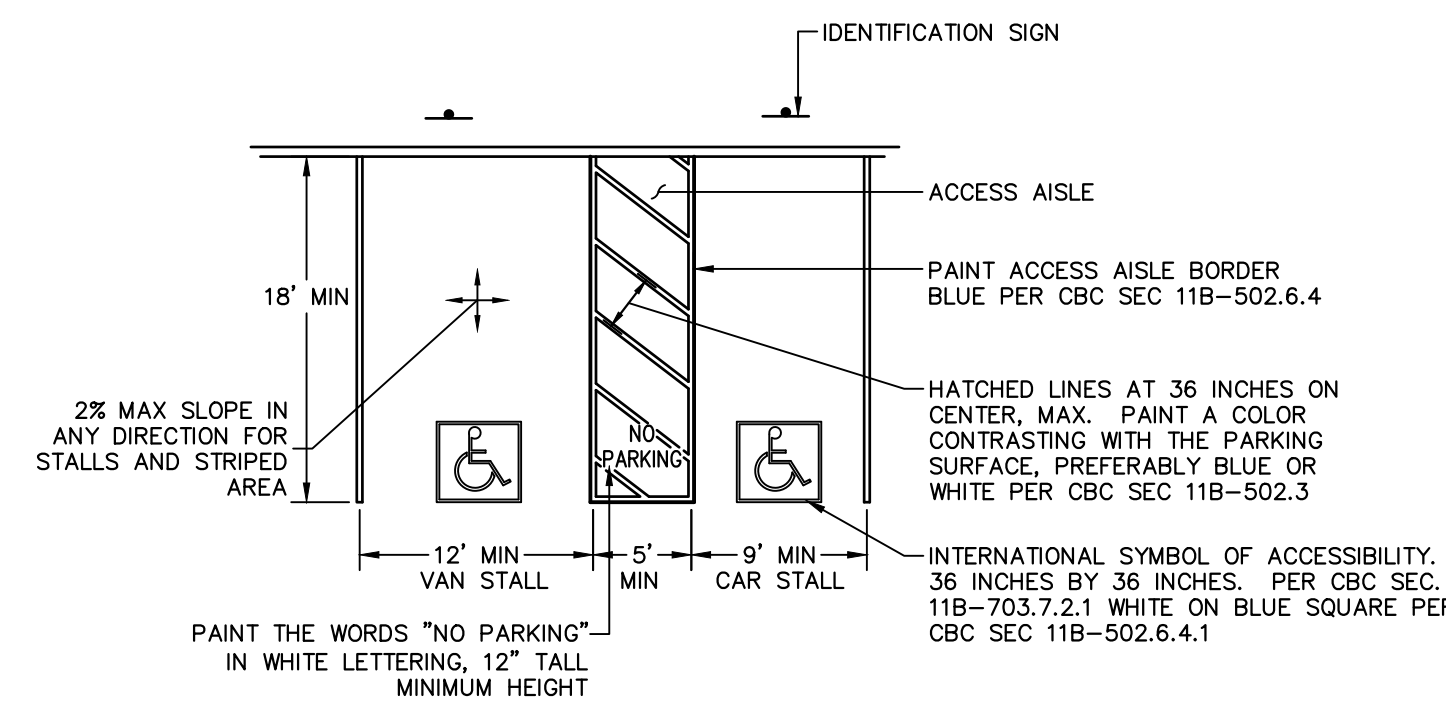
±	MORE OR LESS	MAX	MAXIMUM
Δ	DELTA	MB	MAILBOX
AB	AGGREGATE BASE	MH	MANHOLE
AC	ASPHALT CONCRETE	MIN	MINIMUM
APN	ASSESSOR'S PARCEL NUMBER	MON	MONUMENT
BC	BEGIN CURVE	NO	NUMBER
BCT	BEGIN CURB TRANSITION	NTS	NOT TO SCALE
BFP	BACKFLOW PREVENTER	OVH	OVERHEAD UTILITY LINE
BLDG	BUILDING	OR	OFFICIAL RECORDS
BLRD	BOLLARD	PAD	PAD GRADE
BM	BENCHMARK	PCC	PORTLAND CEMENT CONCRETE
BO	BLOWOFF	PG&E	PACIFIC GAS & ELECTRIC
BSL	BUILDING SETBACK LINE	PIV	POST INDICATOR VALVE
CB	CATCH BASIN	PL	PROPERTY LINE
CC	POINT OF COMPOUND CURVE	PTC	PROJECTED TOP OF CURB
CL	CENTERLINE	PUE	PUBLIC UTILITY EASEMENT
CL2	CLASS II	PVI	POINT OF VERTICAL INTERSECTION
CO	CLEAN OUT	PVT	PRIVATE
CONC	CONCRETE	R	RADIUS
CY	CUBIC YARD	RC	POINT OF REVERSE CURVE
DDC	DOUBLE DETECTOR CHECK	RSRP	RIPRAP ROCK SLOPE PROTECTIVE
DI	DROP INLET	RTWL	RETAINING WALL
DIA	DIAMETER	R/W	RIGHT OF WAY
DN	DOCUMENT NUMBER	S=	SLOPE
DS	RAINWATER DOWN SPOUT	SD	STORM DRAIN
DW	DRIVEWAY	SDCO	STORM DRAIN CLEAN OUT
DYL	DOUBLE YELLOW LINE	SDMH	STORM DRAIN MANHOLE
E	ELECTRIC	SF	SQUARE FEET
ECT	END CURB TRANSITION	SL	STREETLIGHT
EG	EXISTING GROUND	SO	SIDE OPENING
ELEV	ELEVATION	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEAN OUT
ER	EDGE OF ROAD	SSMH	SANITARY SEWER MANHOLE
ESMT	EASEMENT	STA	STATION
EX	EXISTING	STD	STANDARD
FDC	FIRE DEPARTMENT CONNECTION	TB	TOP OF BOX
FF	FINISHED FLOOR	TC	TOP FACE OF CURB
FG	FINISHED GRADE	TEL	TELECOMMUNICATION LINE
FH	FIRE HYDRANT	TF	TRANSFORMER
FL	SURFACE FLOWLINE	TG	TOP OF GRATE
FT	FOOT	TS	TRAFFIC SIGNAL
G	GAS	TV	TELEVISION
GB	GRADE BREAK	TW	TOP OF WALL
GI	GRATE INLET	TYP	TYPICAL
GM	GAS METER	UB	UTILITY BOX
HB	HOSE BIB	UP	UTILITY POLE
HDRL	HANDRAIL	UT	UNDERGROUND UTILITY LINE
HORZ	HORIZONTAL	VC	VERTICAL CURVE
HT	HEIGHT	VERT	VERTICAL
INV	BOTTOM INSIDE OF PIPE	VL	VAULT
IP	IRON PIPE	W	WATER
IR	IRRIGATION	WL	WHITE LINE
L	LENGTH	WM	WATER METER
LP	LIGHT POLE	WS	WATER SERVICE
		YD	YARD DRAIN

SYMBOLS & LEGEND

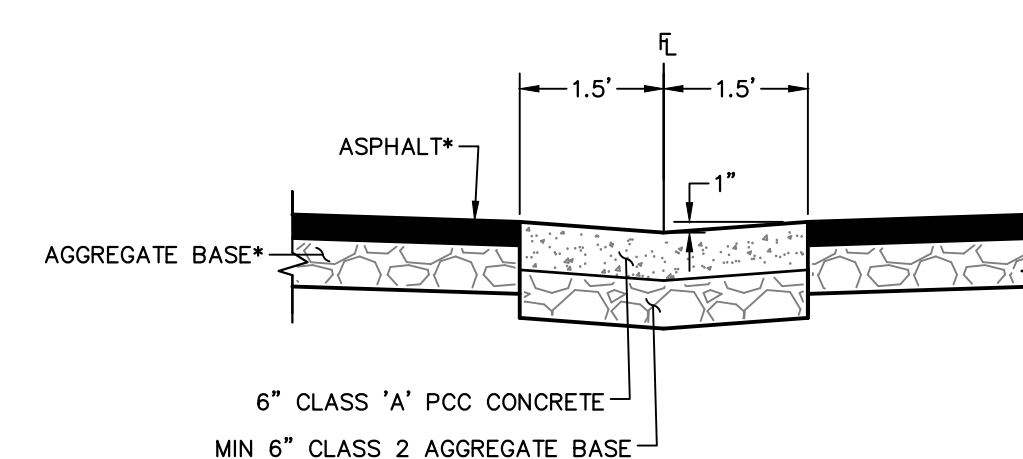
EXISTING	PROPOSED	
		BENCHMARK
		IRON PIPE
		CENTERLINE MONUMENT
		BLOW OFF
		VALVE
		CHECK VALVE
		BACKFLOW PREVENTION DEVICE
		FIRE DEPARTMENT CONNECTION
		FIRE HYDRANT
		POST INDICATOR VALVE
		REDUCER
		RISER
		LIGHT POLE
		STREET SIGN
		TRAFFIC SIGNAL
		STREET LIGHT
		UTILITY POLE
		GUY ANCHOR
		CATCH BASIN
		TREE
		TREE CLUSTER
		TREE TO BE REMOVED
		PROPERTY LINE
		BUILDING SETBACK EASEMENT
		CENTERLINE
		GRADE BREAK
		FLOW LINE
		FENCE
		TREE PROTECTION FENCE
		SANITARY SEWER
		STORM DRAIN
		WATER
		OVERHEAD UTILITY LINE
		UNDERGROUND UTILITY LINE
		UNDERGROUND ELECTRIC LINE
		UNDERGROUND GAS LINE
		UNDERGROUND TELECOM LINE
		ASPHALT
		ASPHALT GRIND & OVERLAY
		CONCRETE
		DETECTABLE WARNING
		VALLEY GUTTER
		BIORETENTION AREA
		INVERT AT CLEANOUT
		KEYNOTE
		DETAIL IDENTIFICATION
		SHEET WHERE DETAIL IS SHOWN
		CROSS SECTION IDENTIFICATION
		SHEET WHERE CROSS SECTION IS SHOWN



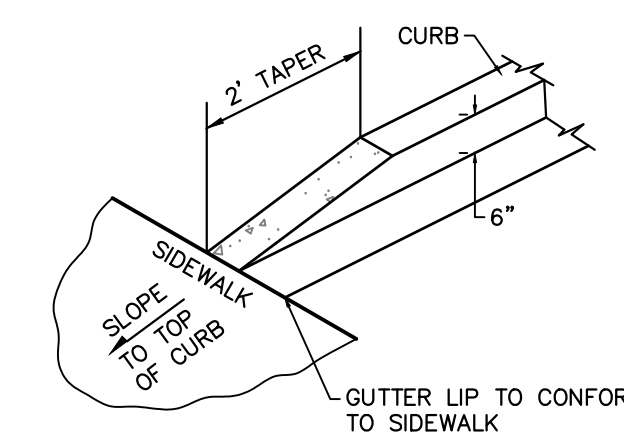
1 VERTICAL CURB
NO SCALE



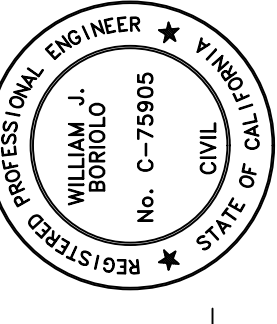
2 ACCESSIBLE PARKING IDENTIFICATION
NO SCALE



3 VALLEY GUTTER
NO SCALE



4 CURB TAPER
NTS



PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 09/27/2024
WILLIAM J. BORRIOLO
C 75905

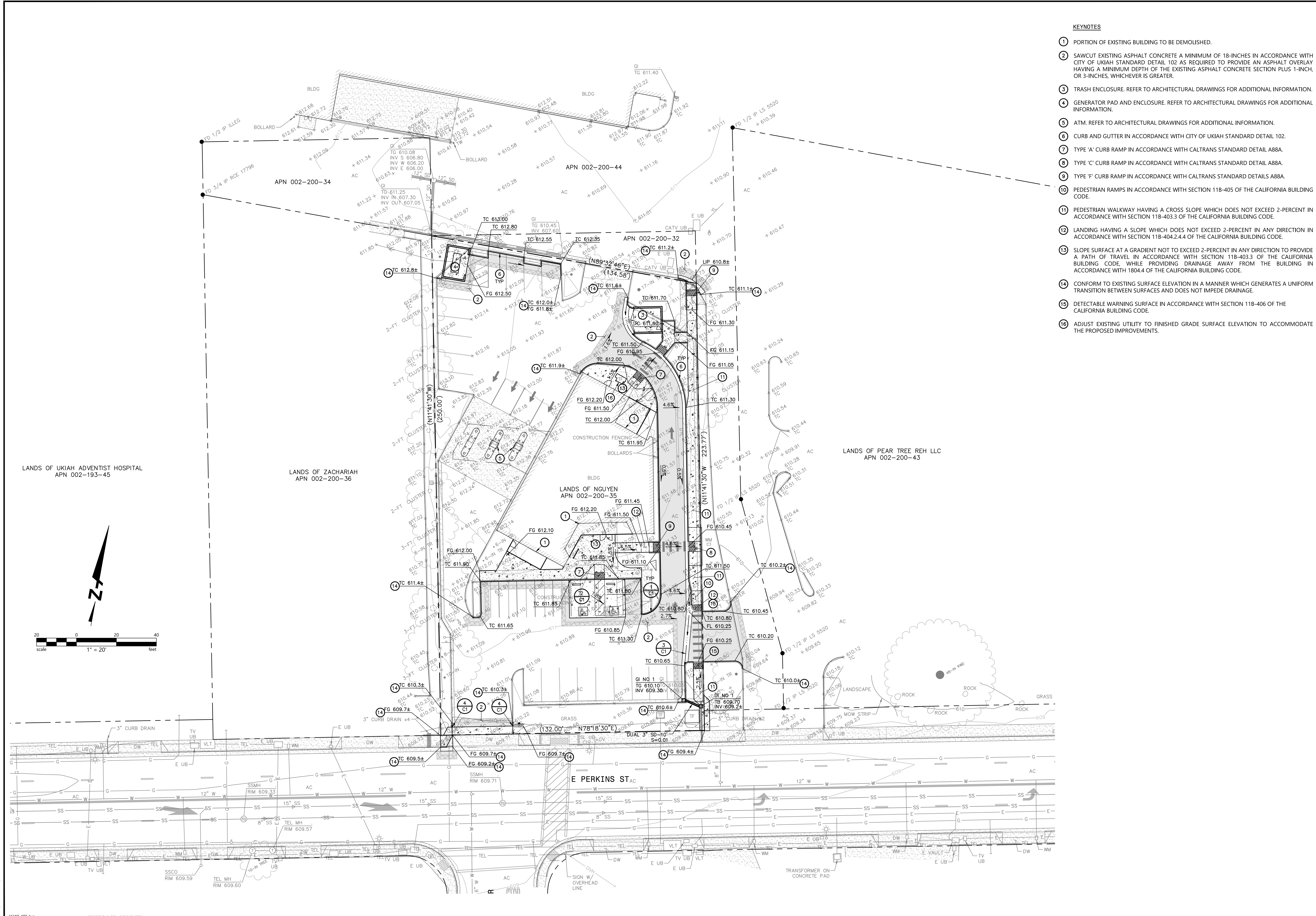
BKF ENGINEERS
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SANTA ROSA, CA 95401
(707) 583-8500
www.bkf.com



REDWOOD CREDIT UNION
APN 002-200-035
414 EAST PERKINS STREET, UKIAH, CALIFORNIA
PROJECT INFORMATION

Revisions	No.	Date	By	Check

Date: SEP. 2024
Scale: AS SHOWN
Design: W.B.
Drawn: B.R.L.
Approved: W.B.
Job No: 20232405
Drawing Number:
C1
1 OF 2



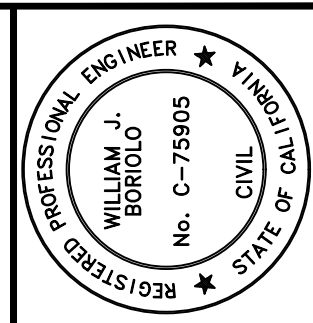
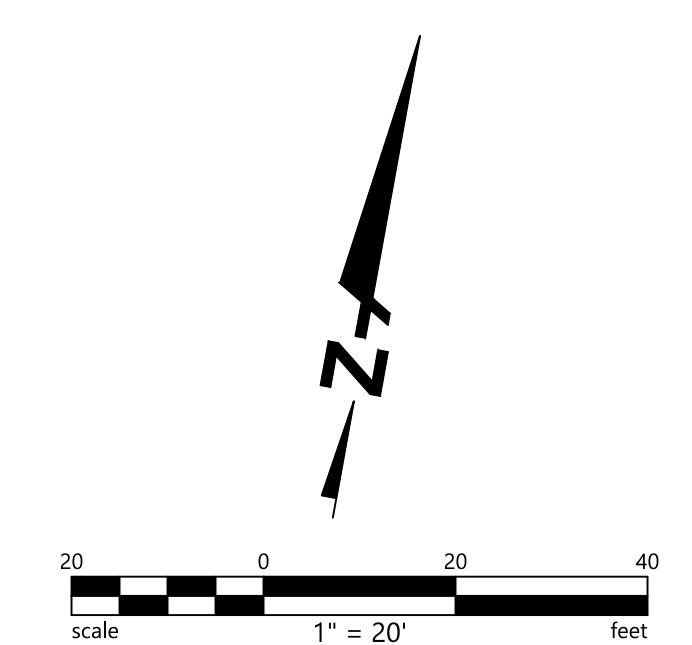
- KEYNOTES**
- 1 PORTION OF EXISTING BUILDING TO BE DEMOLISHED.
 - 2 SAWCUT EXISTING ASPHALT CONCRETE A MINIMUM OF 18-INCHES IN ACCORDANCE WITH CITY OF UKIAH STANDARD DETAIL 102 AS REQUIRED TO PROVIDE AN ASPHALT OVERLAY HAVING A MINIMUM DEPTH OF THE EXISTING ASPHALT CONCRETE SECTION PLUS 1-INCH, OR 3-INCHES, WHICHEVER IS GREATER.
 - 3 TRASH ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 4 GENERATOR PAD AND ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 5 ATM. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 6 CURB AND GUTTER IN ACCORDANCE WITH CITY OF UKIAH STANDARD DETAIL 102.
 - 7 TYPE 'A' CURB RAMP IN ACCORDANCE WITH CALTRANS STANDARD DETAIL A88A.
 - 8 TYPE 'C' CURB RAMP IN ACCORDANCE WITH CALTRANS STANDARD DETAIL A88A.
 - 9 TYPE 'F' CURB RAMP IN ACCORDANCE WITH CALTRANS STANDARD DETAILS A88A.
 - 10 PEDESTRIAN RAMPS IN ACCORDANCE WITH SECTION 11B-405 OF THE CALIFORNIA BUILDING CODE.
 - 11 PEDESTRIAN WALKWAY HAVING A CROSS SLOPE WHICH DOES NOT EXCEED 2-PERCENT IN ACCORDANCE WITH SECTION 11B-403.3 OF THE CALIFORNIA BUILDING CODE.
 - 12 LANDING HAVING A SLOPE WHICH DOES NOT EXCEED 2-PERCENT IN ANY DIRECTION IN ACCORDANCE WITH SECTION 11B-404.2.4 OF THE CALIFORNIA BUILDING CODE.
 - 13 SLOPE SURFACE AT A GRADIENT NOT TO EXCEED 2-PERCENT IN ANY DIRECTION TO PROVIDE A PATH OF TRAVEL IN ACCORDANCE WITH SECTION 11B-403.3 OF THE CALIFORNIA BUILDING CODE, WHILE PROVIDING DRAINAGE AWAY FROM THE BUILDING IN ACCORDANCE WITH 1804.4 OF THE CALIFORNIA BUILDING CODE.
 - 14 CONFORM TO EXISTING SURFACE ELEVATION IN A MANNER WHICH GENERATES A UNIFORM TRANSITION BETWEEN SURFACES AND DOES NOT IMPEDE DRAINAGE.
 - 15 DETECTABLE WARNING SURFACE IN ACCORDANCE WITH SECTION 11B-406 OF THE CALIFORNIA BUILDING CODE.
 - 16 ADJUST EXISTING UTILITY TO FINISHED GRADE SURFACE ELEVATION TO ACCOMMODATE THE PROPOSED IMPROVEMENTS.

LANDS OF UKIAH ADVENTIST HOSPITAL
APN 002-193-45

LANDS OF ZACHARIAH
APN 002-200-36

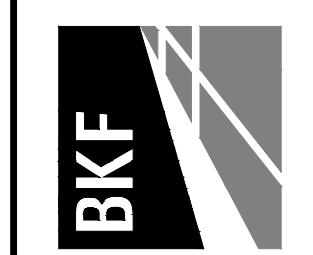
LANDS OF NGUYEN
APN 002-200-35

LANDS OF PEAR TREE REH LLC
APN 002-200-43



PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 09/27/2024
WILLIAM J. BORRIOLO
C 75905

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REDWOOD CREDIT UNION
APN 002-200-035
414 EAST PERKINS STREET, UKIAH, CALIFORNIA
SITE IMPROVEMENT PLAN

No.	Revisions

Date: SEP. 2024
Scale: AS SHOWN
Design: W.B.
Drawn: B.R.L.
Approved: W.B.
Job No: 20232405
Drawing Number:
2 OF 2





MWEO STATEMENT
 "I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE PLANTING PLAN"

 MICHAEL A. COOK
 REGISTERED LANDSCAPE ARCHITECT #5123
 10/04/2024
 DATE

SHADE CALCULATIONS

PARKING LOT AREA:	22,251 SQ. FEET
TREE CANOPY SHADE AREA:	13,128 SQ. FEET
PERCENTAGE COVERAGE:	58.9 %

- PLANTING NOTES**
- CONTRACTOR SHALL BID AND INSTALL PLANTING MATERIALS PER THESE PLANS AND SPECIFICATIONS, UNLESS GIVEN FURTHER WRITTEN INSTRUCTIONS, OR WRITTEN INSTRUCTION BY LANDSCAPE ARCHITECT. WORK INCLUDES, BUT IS NOT LIMITED TO ALL LABOR, GENERAL LIABILITY INSURANCE, WORKMAN'S COMPENSATION, EQUIPMENT, AND MATERIALS NECESSARY TO FURNISH, INSTALL AND GUARANTEE PLANTING, AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
 - COORDINATE FIELD OBSERVATIONS WITH LANDSCAPE ARCHITECT (MINIMUM 2 VISITS). CALL TO PROVIDE 48 HOUR NOTICE.
 - REVIEW FINISHED GRADE W/ LANDSCAPE ARCHITECT PRIOR TO PLANT PLACEMENT. ALL PLANTS SHALL BE INSPECTED BY ARBORIST/ LANDSCAPE ARCHITECT FOR HEALTH, PESTS AND SIZE PRIOR TO LAYOUT.
 - LAYOUT PLANTINGS FOR APPROVAL IN FULL QUANTITIES, PRIOR TO DIGGING HOLES. ADJUST LAYOUT AS DIRECTED BY LANDSCAPE ARCHITECT.
 - CONTRACTOR SHALL PROVIDE SUBMITTALS/SAMPLES TO LANDSCAPE ARCHITECT OF ALL SPECIMEN TREES (PHOTOGRAPHS WITH HUMAN SCALE), SOIL, MULCH, STAKES, TIES, AGRIFORM TABLETS, GRASS PAVE MATERIALS, STEEL EDGING, AND OTHER MATERIALS.
 - ALL WORK SHALL CONFORM TO THE LATEST APPLICABLE CITY OF UKIAH WATER AGENCY ORDINANCES RELATING TO PLANTING AND IRRIGATION. ALL PLANT MATERIALS TO BE INSTALLED PER CITY OF UKIAH STANDARDS AND PLANTING DETAILS. THE PLANT MATERIALS SHALL CONFORM TO THE PLANT LEGEND SPECIFICATION FOR SIZE & LATEST EDITION OF THE AMERICAN NURSERYMAN STANDARDS.
 - PRIOR TO REMOVING ANY PLANTS, CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER AND LANDSCAPE ARCHITECT TO DETERMINE SPECIMENS TO REMAIN OR BE TRANSLANTED. ALL PLANTING AREAS ARE TO BE FREE OF DELETERIOUS MATERIALS AND WEEDS PRIOR TO PLANTING.
 - A SOIL FERTILITY TEST SHALL BE REQUIRED FOR REVIEW BY THE LANDSCAPE ARCHITECT AFTER GRADING IS COMPLETE AND BEFORE ANY PLANT WORK. A SOIL TEST SHALL BE PERFORMED TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT CONDUCTED BY WAYPOINT ANALYTICAL, (408) 727-0330, UNLESS OTHERWISE APPROVED MUST CONTAIN THE FOLLOWING INFORMATION:
 - SOIL PERMEABILITY RATE IN INCHES PER HOUR
 - SOIL TEXTURE TEST
 - CATION EXCHANGE CAPACITY
 - SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER
 - TOTAL SOLUBLE SALTS AND SODIUM CONTENT
 - CONTRACTOR TO REQUEST A "BAY-FRIENDLY" RECOMMENDATION FOR AMENDMENTS TO THE PLANTING AREA SOIL
 - A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTING AREAS. WITHIN THE LIMITS OF NEW PLANTING AREAS, THE TOP 12" OF EXISTING SOIL OR TO THE EXTENT OF EXISTING TOPSOIL, WHICH EVER IS LESS, SHALL BE STRIPPED AND STOCKPILED ON THE SITE FOR RE-USE. ALL PLANTING AREAS TO BE FILLED SO THAT SOIL IS LOOSE AND NOT COMPACTED. ALL PLANTING BEDS TO RECEIVE A MINIMUM OF 12" OF APPROVED TOPSOIL. TO PREPARE PLANTING BEDS AND LAWN AREAS, CULTIVATE INTO TOP 12" OF SOIL 6 CUBIC YARDS OF ORGANIC COMPOST PER 1,000 SQUARE FEET. COMPOST IS TO HAVE THE US COMPOSTING COUNCIL'S SEAL OF TESTING ASSURANCE (STA) AND THE ORGANIC MATERIALS REVIEW INSTITUTE (OMRI) LISTING. INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1,000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT. ANY ADDITIONAL AMENDMENTS SHALL BE CERTIFIED ORGANIC BY OMRI.
 - ALL PLANT LOCATIONS TO BE CONFIRMED IN THE FIELD BY THE LANDSCAPE ARCHITECT. CONTRACTOR IS TO COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THIS PLAN. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED PLANTING AND SITE UTILITIES OR LIGHTING TO BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 - LAYOUT OF PLANTINGS IS DIAGRAMMATIC AND MAY NEED FIELD ADJUSTMENT FOR EXISTING SITE CONDITIONS NOT SHOWN ON PLANS, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. ADJUSTMENTS WILL BE MADE FOR VIEWS, ACCESS, ETC. ALL PLANTINGS SHALL BE FIELD ADJUSTED TO MEET THE MINIMUM STATE REGULATIONS FOR PLANTING AND MAINTAINING A FIRE DEFENSIBLE SPACE, DEPT. OF FORESTRY. PLANT QUANTITIES ARE FOR INFORMATIONAL USE ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANTS AS SHOWN ON THE DRAWINGS.
 - PLANTS SHALL BE SUFFICIENTLY ROOTED TO THE EDGE OF THE CONTAINER AND TO AN EXTENT SUFFICIENT TO HOLD THE ROOTBALL INTACT WHEN REMOVED FROM THE CONTAINER. NO PLANTS SHALL BE ACCEPTABLE THAT SHOW SIGNS OF CIRCLING OR GIRDLING OF ROOTS, OR ANY OTHER ROOT-SOUND CONDITION. PLANTS SHALL BE FREE FROM ALL PESTS AND DISEASES.
 - ALL PLANTS SHALL BE PLACED IN A TRIANGULAR SPACED PATTERN, UNLESS OTHERWISE SPECIFIED.
 - EXCAVATE PLANTING PITS 1" LESS THAN THE DEPTH OF THE PLANT CONTAINER AND TWO TIMES THE WIDTH OF THE PLANT CONTAINER. PREPARE HOLE BACKFILL MATERIAL BY USING 1 PART EXISTING SOIL TO 1 PART ORGANIC COMPOST. THOROUGHLY MIX THIS COMBINATION BEFORE BACKFILLING. SET PLANT PLUMS IN PLANTING PIT AND BRACE RIGIDLY IN POSITION. TAMPING BACKFILL MIX SOILY AROUND THE BALL AND ROOTS. PLACE TOP OF ROOT BALL 1" ABOVE SURROUNDING GRADE. (SEE PLANTING DETAILS FOR TREES, SHRUBS AND GROUND COVERS ON THIS SHEET). DO NOT OVER COMPACT SOIL.
 - ALL TREES ARE TO BE STAKED AND TREES AND SHRUBS ARE TO HAVE WATERING BASINS. ALL TREES CLOSER THAN 10'-0" TO BUILDINGS, WALKS, PAVING, CURBS OR FOOTINGS SHALL BE INSTALLED WITH A DEEP ROOT BARRIER. USE DEEP ROOT BARRIER, TYPE LB 24-2 PER MANUFACTURER'S RECOMMENDATIONS.
 - AFTER PLANTING, WATER NEW PLANTINGS DEEPLY AND THOROUGHLY.
 - A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS. MULCH SHALL BE "MINI FIR BARK" FROM DENBESTE PRODUCTS (707-495-6232), NATURAL COLOR.
 - THE CONTRACTOR SHALL MAINTAIN THE PLANTING AND IRRIGATION INSTALLATIONS FOR 60 DAYS FROM THE DATE OF FINAL ACCEPTANCE. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF 6 MONTHS FROM DATE OF FINAL ACCEPTANCE.

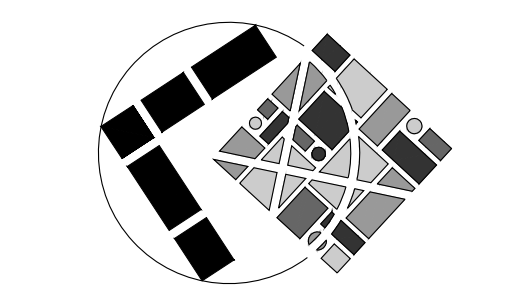
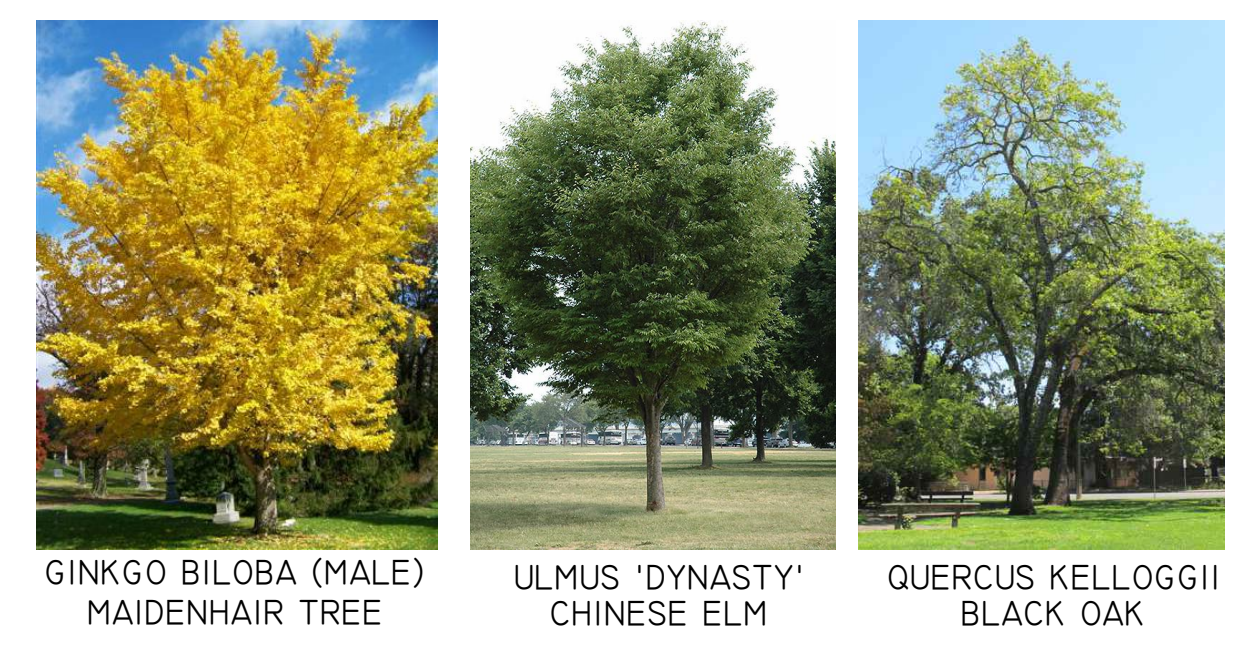
- GENERAL NOTES**
- REFER TO SHEET L-2 FOR PLANTING AND IRRIGATION DETAILS.
 - REFER TO SHEET L-2 FOR MWEO CALCULATIONS.

PLANTING LEGEND

ABBREV.	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QTY	REMARKS/SPACING
TREES						
GIN BIL	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	M	15 GAL.	6	SINGLE TRUNK
ULM DYN	ULMUS 'DYNASTY'	CHINESE ELM	M	15 GAL.	1	SINGLE TRUNK
QUE KEL	QUERCUS KELLOGGII	BLACK OAK	L	15 GAL.	3	SINGLE TRUNK

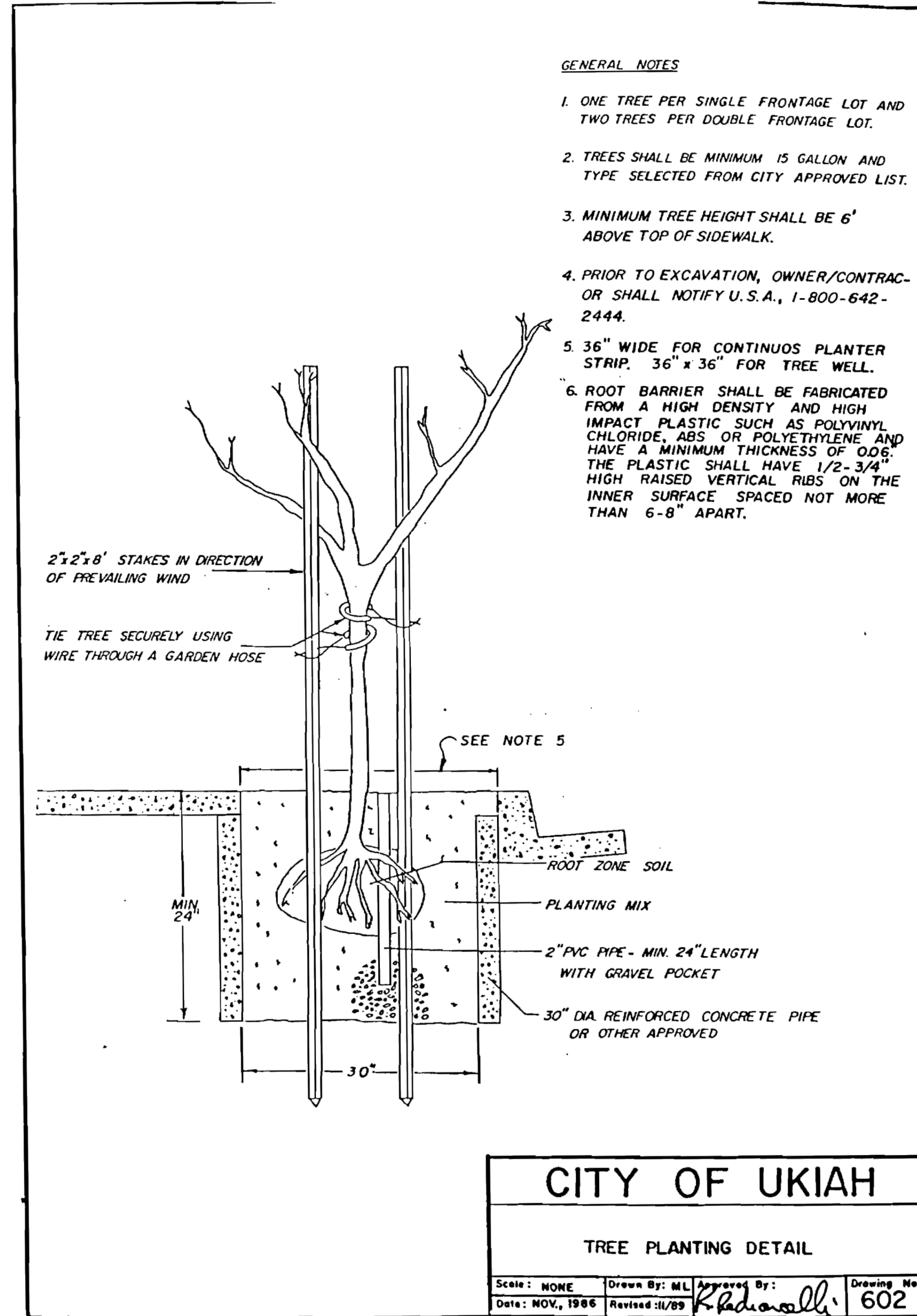
ABBREV.	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QTY	REMARKS/SPACING
SHRUBS						
ACH MLI	ACHILLEA MILLEFOLIUM	YARROW	L	5 GAL.	-	18" O.C. SPACING
ARC BIG	ARCTOSTAPHYLOS 'SENTINEL'	MANZANITA	L	5 GAL.	-	4' O.C. SPACING
CIS SUN	CISTUS X P. 'SUNSET'	SUNSET ROCKROSE	L	5 GAL.	-	4' O.C. SPACING
LAV OTT	LAVANDULA S. 'OTTO QUAST'	SPANISH LAVENDER	L	5 GAL.	-	3' O.C. SPACING
MYR COM	MYRTUS C. 'COMPACTA'	DWARF MYRTLE	L	5 GAL.	-	4' O.C. SPACING
SAL GRE	SALVIA GREGGII 'MESA AZURE'	AUTUMN SAGE	L	5 GAL.	-	2' O.C. SPACING
TEU FRU	TEUCRIUM FRUTICANS	BUSH GERMANDER	L	5 GAL.	-	3' O.C. SPACING

ABBREV.	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	QTY	REMARKS/SPACING
GRASSES						
BOU GRA	BOUTELOUA GRACILIS	BLUE GRAMA	L	1 GAL.	-	2' O.C. SPACING
CAR TUM	CAREX TUMULICOLA	FOOTHILL SEDGE	L	1 GAL.	-	2' O.C. SPACING
DES CAE	DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	L	1 GAL.	-	2' O.C. SPACING
JUN PAT	JUNCUS PATENS	CAL. GRAY RUSH	L	1 GAL.	-	2' O.C. SPACING
LOM BZE	LOMANDRA L. 'BREEZE'	DWARF MAT GRASS	L	1 GAL.	-	3' O.C. SPACING
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	L	1 GAL.	-	4' O.C. SPACING
GROUNDCOVER						
ARC EME	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	L	1 GAL.	-	4' O.C. SPACING
CEA CEN	CEANOTHUS 'CENTENNIAL'	CEANOTHUS	L	1 GAL.	-	5' O.C. SPACING
EPI CAN	EPILOBIUM CANUM	CAL. FUSCHIA	L	1 GAL.	-	3' O.C. SPACING
FES ELI	FESTUCA 'ELIJAH BLUE'	BLUE FESCUE	L	1 GAL.	-	12" O.C. SPACING
MYO PIN	MYOPORUM P. 'PINK'	PINK MYOPORUM	L	1 GAL.	-	6' O.C. SPACING



SITE AND PLANTING PLAN
CONCEPTUAL LANDSCAPE PLAN
FINANCIAL INSTITUTION
 414 EAST PERKINS STREET, UKIAH, CALIFORNIA 95482

DATE: 10/04/2024
 SHEET NUMBER: L-1 OF 2
 PROJECT NUMBER: 24-057.01



- GENERAL NOTES**
- ONE TREE PER SINGLE FRONTAGE LOT AND TWO TREES PER DOUBLE FRONTAGE LOT.
 - TREES SHALL BE MINIMUM 15 GALLON AND TYPE SELECTED FROM CITY APPROVED LIST.
 - MINIMUM TREE HEIGHT SHALL BE 6' ABOVE TOP OF SIDEWALK.
 - PRIOR TO EXCAVATION, OWNER/CONTRACTOR SHALL NOTIFY U.S.A., 1-800-642-2444.
 - 36" WIDE FOR CONTINUOUS PLANTER STRIP. 36" x 36" FOR TREE WELL.
 - ROOT BARRIER SHALL BE FABRICATED FROM A HIGH DENSITY AND HIGH IMPACT PLASTIC SUCH AS POLYVINYL CHLORIDE, ABS OR POLYETHYLENE AND HAVE A MINIMUM THICKNESS OF 0.06. THE PLASTIC SHALL HAVE 1/2-3/4" HIGH RAISED VERTICAL RIBS ON THE INNER SURFACE SPACED NOT MORE THAN 6-8" APART.

CITY OF UKIAH

TREE PLANTING DETAIL

Scale: NONE Drawn By: MLL Approved By: [Signature] Drawing No. 602
 Date: NOV, 1986 Revised 01/99 [Signature]

IRRIGATION NOTES

- LANDSCAPE CONTRACTOR (C-27 LICENSE) SHALL BID AND INSTALL IRRIGATION PER THESE PLANS AND SPECIFICATIONS, UNLESS GIVEN FURTHER WRITTEN INSTRUCTIONS OR REVISED PLANS PER OWNER OR LANDSCAPE ARCHITECT. WORK INCLUDES, BUT IS NOT LIMITED TO ALL LABOR, COVERED LIABILITY INSURANCE, WORKMAN'S COMPENSATIONS, EQUIPMENT AND MATERIALS NECESSARY TO FURNISH, INSTALL AND TEST IRRIGATION SYSTEM, AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- COORDINATE A MINIMUM OF (2) FIELD OBSERVATIONS WITH LANDSCAPE ARCHITECT AND CALL TO PROVIDE 48 HOUR NOTICE:
 - VERIFY FLAGGED HEAD AND CHALKED MAINLINE LAYOUT PRIOR TO TRENCHING OPERATIONS. ADJUST LAYOUT AS DIRECTED BY LANDSCAPE ARCHITECT.
 - OBSERVE COMPLETE PLUMBING SYSTEM AND PRESSURE TEST ALL MAINLINE & LATERALS PRIOR TO ANY BACKFILLING OPERATIONS.
- CONTRACTOR SHALL PROVIDE SUBMITTALS/CUT SHEETS TO LANDSCAPE ARCHITECT OF ALL IRRIGATION MATERIALS INCLUDING, BUT NOT LIMITED TO CONTROLLER, CONTROL WIRE, MAIN LINE PVC, VALVES, PRESSURE REDUCER, ETC. CONTRACTOR SHALL FURNISH TO OWNER KEYS TO CONTROLLER, QUICK COUPLER AND ANY SPECIAL TOOLS REQUIRED FOR MAINTENANCE OF ALL IRRIGATION COMPONENTS.
- MANUFACTURERS DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURERS OF COMPONENTS, USED IN THIS CONTRACT, COVER POINTS NOT SHOWN ON DRAWINGS AND SPECIFICATIONS.
 - CONTRACTOR SHALL KEEP DETAILED REDLINE PLAN RECORDING INSTALLATION OF IRRIGATION SYSTEM AS IT PROGRESSES. RECORD PLAN SHALL BE DRAFTED ONTO DRAWINGS PROVIDED BY LANDSCAPE ARCHITECT, INTO AS-BUILT DRAWINGS SHOWING LOCATIONS OF POINT OF CONNECTION, LATERALS, MAIN LINES, QUICK COUPLERS, VALVES, HEADS, WIRING, ETC., FOR APPROVAL BY LANDSCAPE ARCHITECT. FOLLOWING APPROVAL, AS-BUILTS SHALL BE REDUCED TO 1/4" SIZE, COLOR CODED BY STATION, AND LAMINATED IN 6 MIL. PLASTIC, 3 REQUIRED FOR EACH CONTROLLER.
 - THREE LAMINATED DETAILED IRRIGATION SCHEDULES SHOWING STATION PROGRAMMING AND RUN TIMES SHALL BE PROVIDED FOR EACH CONTROLLER AND APPROVED BY LANDSCAPE ARCHITECT. ONE WARM SEASON, ONE COOL SEASON AND ONE FOR ESTABLISHMENT PERIOD. EACH SCHEDULE SHALL BE ACCOMPANIED BY REDUCED "AS-BUILT" PLAN PERMANENTLY MOUNTED IN OR NEAR CONTROLLER. THESE SHALL BE SUBMITTED PRIOR TO ACCEPTANCE TO WORK AND AS A CONDITION OF COMMENCEMENT OF MAINTENANCE PERIOD.
- ALL IRRIGATION EQUIPMENT TO BE INSTALLED PER CITY, COUNTY AND STATE STANDARDS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY AND ALL PERMITS AND INSPECTIONS AS REQUIRED. THE MATERIAL AND WORK SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE LATEST ADDITIONS OF THE UNIFORM PLUMBING CODE AND THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH ALL STATE AND LOCAL LAWS, CODES, ORDINANCES, RESTRICTIONS BEFORE BEGINNING INSTALLATION.
- CONTRACTOR SHALL VERIFY GALLONS PER MINUTE (G.P.M.) AT POINT OF CONNECTION DOWNSTREAM OF BACKFLOW DEVICE TO BE A MINIMUM OF 60 G.P.M. AND 30 P.S.I. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. FAILURE TO DO SO WILL MAKE THE CONTRACTOR LIABLE FOR ALL NECESSARY CHANGES.
- TEST ALL PRESSURE LINES PRIOR TO BACK FILLING, UNDER STATIC PRESSURE OF 150 PSI FOR A PERIOD OF 2 HOURS. IF LEAKS DEVELOP, REPAIR SYSTEM AND REPEAT TEST UNTIL PRESSURE IS HELD.
- ALL 120V. ELECTRIC POWER SUPPLY FOR IRRIGATION CONTROLLER SHALL BE PROVIDED AND CONNECTED TO CONTROLLER BY A LICENSED ELECTRICIAN. LANDSCAPE CONTRACTOR SHALL MAKE HARDWIRE CONNECTION FOR ALL CONTROL WIRES. CONTRACTOR SHALL INSTALL CONTROL WIRES THAT:
 - CONNECTIONS BETWEEN THE CONTROLLER AND THE REMOTE CONTROL VALVES SHALL BE MADE CONTINUOUS (NO SPLICES) WITH DIRECT BURIAL COPPER WIRE 16 GA. AWG U.P. 600 VOLT. TAPE WIRES TO THE MAINLINE AT 10 FOOT INTERVALS, EXCEPT WHERE INDEPENDENTLY SLEEVED UNDER PAVING.
 - PROVIDE THREE CONTINUOUS LOOP WIRES FROM THE CONTROLLER TO EACH VALVE WITH 9' LOOP. LABEL IN VALVE BOX. PROVIDE SEPARATE COLOR WIRES FOR CONTROL, COMMON AND EXTRA LOOP WIRES. CONTROL SHALL BE RED, COMMON SHALL BE WHITE AND EXTRAS SHALL BE BLACK/YELLOW.
 - AN EXPANSION CURL SHALL BE PROVIDED WITHIN (3) FEET OF EACH WIRE CONNECTION IN VALVE BOX. EXPANSION CURLS SHALL BE 18 INCHES IN LENGTH AT EACH SPLICE CONNECTION AND AT EACH CONTROL VALVE, SO THAT IN CASE OF REPAIR THE VALVE BONNET CAN BE BROUGHT TO THE SURFACE WITHOUT DISCONNECTION OF THE CONTROL WIRES. ALL SPLICES SHALL BE MADE WATERPROOF WITH RAINBIRD SNAP-TIE WIRE CONNECTIONS OR APPROVED EQUAL.
- THESE DRAWINGS INCLUDE A DIAGRAMMATIC DISPLAY THAT SHOWS:
 - BEFORE PROCEEDING WITH ANY WORK, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES. CONTACT AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITION IMMEDIATELY.
 - LAYOUT OF PIPING, VALVES, AND HEADS IS DIAGRAMMATIC. THERE MAY BE FIELD ADJUSTED FOR EASE OF INSTALLATION, COMMON TRENCHING, AND OPTIMUM COVERAGE. OBTAIN WRITTEN APPROVAL FOR CHANGES PRIOR TO CONSTRUCTION.
 - DRIP SYMBOL IS SCHEMATIC, VERIFY PLANT QUALITIES FOR EXACT NUMBER OF EMITTERS AND LENGTH OF PIPE. ALL OFFSET, FITTINGS, SLEEVES, ETC. ARE NOT INDICATED DUE TO SCALE OF DRAWINGS, AND ARE TO BE FURNISHED AS REQUIRED.
 - CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR WORK INSTALLED IN AREA WHERE WORK HAS BEEN MODIFIED WITHOUT WRITTEN APPROVAL.
 - PIPE SIZES ON PLANS ARE MINIMUM ALLOWABLE.
- FINAL LOCATION OF BACKFLOW PREVENTION DEVICE SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- THE DRIP PORTION OF THE SYSTEM SHALL BE AUTOMATICALLY OPERATED AND CAPABLE OF OPERATING THE SYSTEM FROM 1/2 HOUR TO SEVERAL HOURS PER DAY AND PER SETTING, AND HAVE AN AUTOMATIC RAIN SHUTOFF UNIT. THE SYSTEM SHALL MEET THE FOLLOWING BASIC PARAMETERS:
 - FROM THE VALVE ASSEMBLY, A 3/4" INCH SCH 40 PVC PIPE SHALL BE BROUGHT TO A 3/4" INCH PVC TEE. ALL STATIONS SHOULD BE CENTER-LOADED WHEREVER POSSIBLE, AND AT NO TIME SHALL THE WATER FLOW IN ANY PIPE EXCEED A SPEED OF 5 FEET PER SECOND.
 - A 5/8" A/R PVC HOSE SHALL EXTEND FROM EACH SIDE OF THE PVC TEE. THE FLOW IN EACH OF THESE 5/8" LINES SHALL NOT EXCEED 180 GALLONS PER HOUR. A TORO NGE PC EMITTER (OR APPROVED EQUAL) SHALL BE INSTALLED INTO THIS HOSE PER THESE QUANTITIES: TWO 1/2 GALLON PER HOUR SINGLE OUTLET EMITTERS SHALL BE PLACED AT THE BASE OF EACH 1 GALLON CONTAINER, TWO 1 GALLON PER HOUR EMITTERS SHALL BE PLACED AT THE BASE OF EACH 5 GALLON CONTAINER. CAP ALL LINE ENDS WITH A BALL VALVE SO THEY MAY BE FLUSHED. USE A KB IN-LINE CHECK VALVE WHERE REQUIRED FOR LOW-HEAD DRAINAGE WHERE ELEVATION DIFFERENTIAL BETWEEN HEADS MAY CAUSE RUN OFF.
 - THE SYSTEM SHALL BE DESIGNED ACCORDING TO TORO RECOMMENDATIONS AND FOR A WORKING PRESSURE OF 25 PSI.
- AVOID CUTTING EXISTING ROOTS GREATER THAN 1" DIAMETER. TUNNEL UNDER ROOT WITHOUT DAMAGING CAMBIUM LAYER OF BARK. ALL TRENCHING WITHIN THE DRILINE OF EXISTING TREES SHALL BE DONE BY HAND, VERIFY PIPE ROUTE WITH LANDSCAPE ARCHITECT PRIOR TO TRENCHING.
- USE SCH 40 PVC AT DRIVEWAY/ROAD CROSSING WITH 24" OF COVER. ALL SLEEVES TO BE TWICE DIAMETER OF REQUIRED PIPE AND EXTEND 12" BEYOND PAVING EDGE. SLEEVE EACH PIPE SEPARATELY AND PROVIDE SEPARATE SLEEVE FOR CONTROL WIRES.
- THE TRENCHES SHALL NOT BE BACKFILLED UNTIL ALL REQUIRED TESTS ARE PERFORMED. BACKFILL SHALL BE WATER SETTLED OR MECHANICALLY COMPACTED IN LANDSCAPED AREAS TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED AREAS. CONTRACTOR WILL INSTALL 3" WIDE DETECTABLE TAPE (#3 DTP, AS MANUFACTURED BY T. CHRISTY). TAPE SHALL BE INSTALLED 6" ABOVE THE IRRIGATION MAINLINE AND BE LABELED "CAUTION WATER LINE BURIED BELOW". INSTALL ABOVE ALL WATER MAIN LINES. BACKFILLING SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER SURFACES IRREGULARITIES. IF SETTLEMENT OCCURS AND SUBSEQUENT ADJUSTMENTS ARE NECESSARY, THE CONTRACTOR SHALL MAKE ALL REQUIRED ADJUSTMENTS WITHOUT COST TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF 12 MONTHS. THE SYSTEM SHALL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP AND THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DEFECTS AND REPAIR ANY DAMAGE CAUSED BY DEFECTS FOR THE ABOVE MENTIONED TIME PERIOD AT NO COST TO THE OWNER. SUCH REPAIRS OR REPLACEMENTS SHALL BE COMPLETED WITHIN A 48 HOUR PERIOD AND IMMEDIATELY IF IT IS A SAFETY ISSUE.
- CLEANUP SHALL BE MADE AS EACH PORTION OF WORK PROGRESSES. ALL PAVING AND WALKS SHALL BE BROOMED OR WASHED DOWN AND ANY DAMAGE SUSTAINED TO THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITIONS ACCEPTABLE TO THE OWNER.

Estimated Total Water Use
Equation: ETWU = ET_o x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ET_o-Eppt) x 0.62 x [(PF x HA)/IE] +SLA
Enter values in Pale Blue Cells

Tan Cells Show Results

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1.0

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Drip	Low	0.30	3,743	0.81	1,386
Zone 2	Drip	Low	0.30	75	0.81	28
Zone 3	Drip	Medium	0.60	175	0.81	130
						1,544
				0		0
			Sum	3,993		

Results

MAWA =	34,140	ETWU =	29,330 Gallons	ETWU complies with MAWA
			3,921 Cubic Feet	
			39.21 HCF	
			0.09 Acre-foot	
			0.03 Millions of Gallons	

MWEO STATEMENT

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION PLAN"

[Signature]

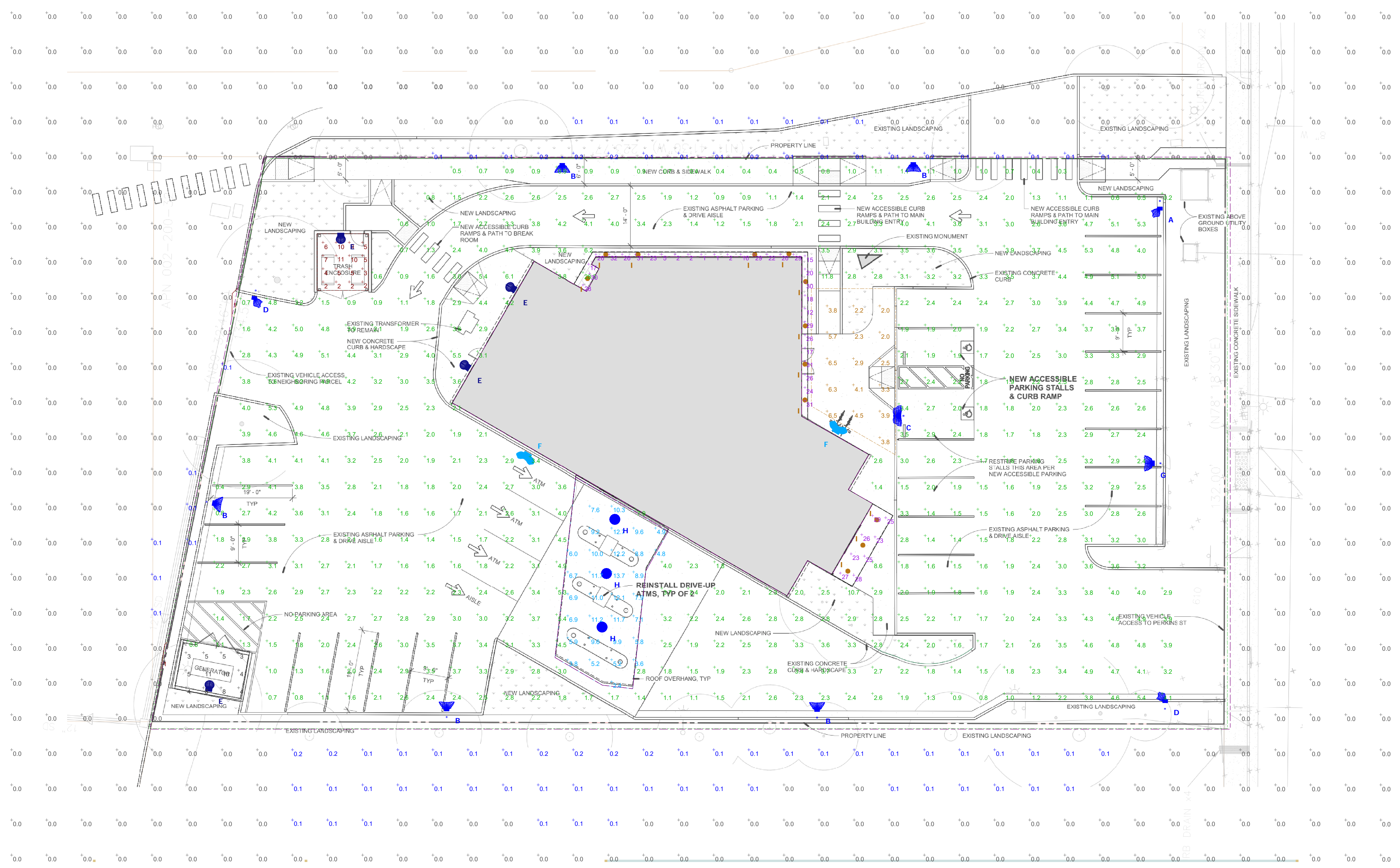
MICHAEL A. COOK
 REGISTERED LANDSCAPE ARCHITECT #5123

10/04/2024
 DATE



IRRIGATION + MWEO CALCULATIONS
CONCEPTUAL LANDSCAPE PLAN
FINANCIAL INSTITUTION
 414 EAST PERKINS STREET, UKIAH, CALIFORNIA 95482

DATE: 10/04/2024
 SHEET NUMBER: L-2 OF 2
 PROJECT NUMBER: 24-057.01



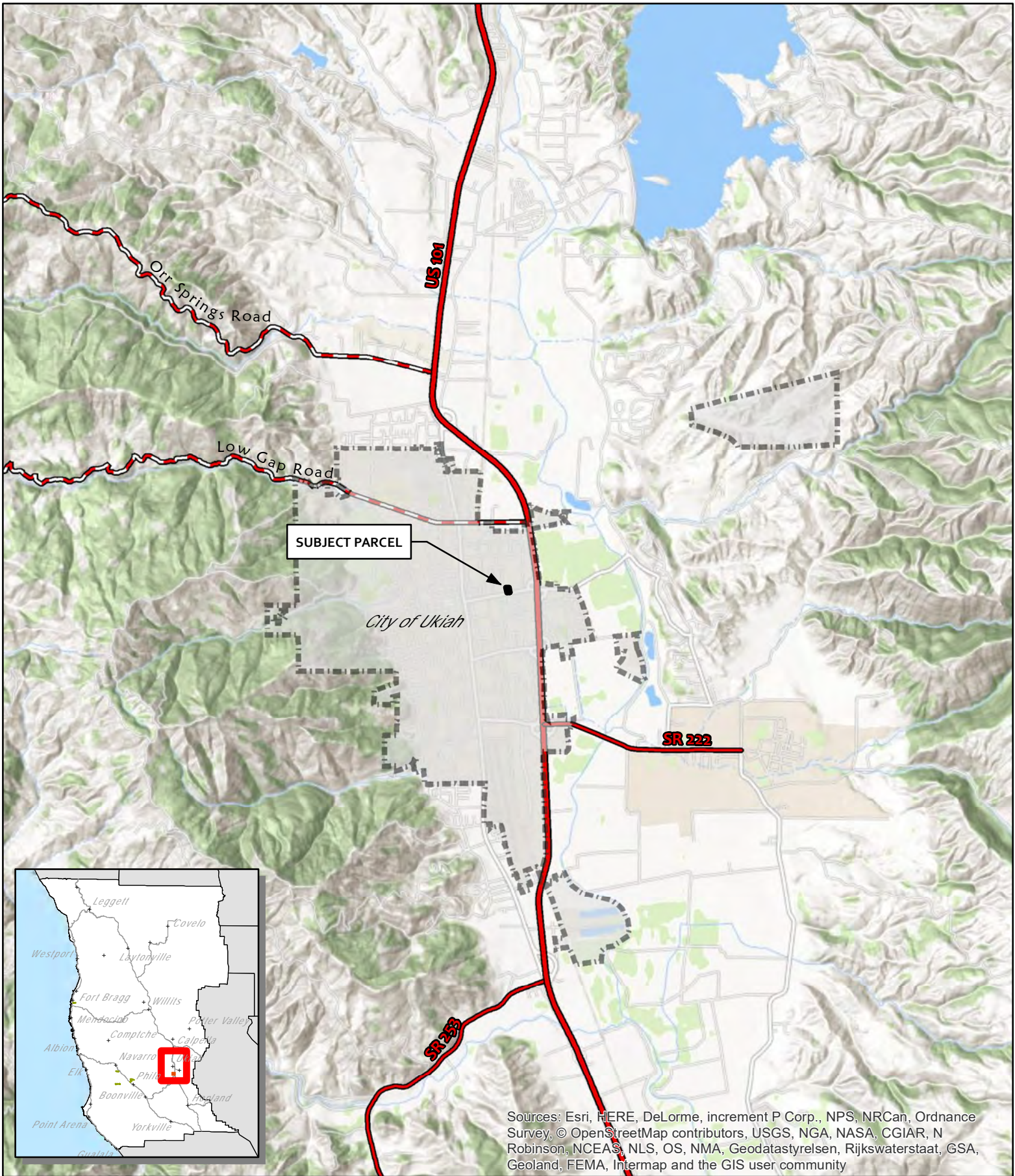
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power	Polar Plot
A			1	Lithonia Lighting	DSXO LED P3 35K 80CRI LCCO	D-Series Slim 0 Area Luminaire P3 Performance Package 3500K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control MATCH FINISH PER ARCHITECT	5807	0.9	68.95	
B			5	Lithonia Lighting	DSXO LED P3 35K 80CRI BLCA	D-Series Slim 0 Area Luminaire P3 Performance Package 3500K CCT 80 CRI Type 3 Extreme Backlight Control MATCH FINISH PER ARCHITECT	5755	0.9	68.95	
C			1	Lithonia Lighting	DSXO LED P1 35K 80CRI TM4HS EGS-4	D-Series Slim 0 Area Luminaire P1 Performance Package 3500K CCT 80 CRI Type 5 Medium Hypocycle Shield Forward External Glass Shield MATCH FINISH PER ARCHITECT	2168	0.9	33.21	
D			2	Lithonia Lighting	DSXO LED P3 35K 80CRI BLCCO	D-Series Slim 0 Area Luminaire P3 Performance Package 3500K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control MATCH FINISH PER ARCHITECT	5807	0.9	68.95	
E			4	Lithonia Lighting	ARC1 LED P1 30K	ARC1 LED WITH P1 PERFORMANCE PACKAGE 3000K MATCH FINISH PER ARCHITECT	1376	0.9	10.8751	
F			2	Lithonia Lighting	DSXW1 LED 20C 350 3AK 133 MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE 135 OPTIC, 3000K, @ 350mA.	2789	0.9	23.3	
G			1	Lithonia Lighting	DSXO LED P3 35K 80CRI BLCA	D-Series Slim 0 Area Luminaire P3 Performance Package 3500K CCT 80 CRI Type 4 Extreme Backlight Control	5944	0.9	68.95	
H			3	Lithonia Lighting	CNY LED P0 40K MVOLT	CNY LED Canopy P0-3.500m	3669	0.9	26.35	
I			12	Geham Architectural Lighting	ICD2WR 35/15 SGL 40D MVOLT DMR GDMR MED BRONZE ARCHITECT TO CONFIRM	INCITO 2 INCH WARDAL RESISTANT TRIM RECESSED DOWNLIGHT, ROUND, 3500K, 1500 LUMENS, SLATE PATTERN LENS, 40 DEGREE BEAM, 40 CRI	1357	0.88	19.7	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
DOWNLIGHTS UNDER CANOPY AT ATM	+	26 fc	29 fc	23 fc	1.3:1	1.1:1
DOWNLIGHTS UNDER NARROW CANOPY	+	20 fc	32 fc	1 fc	32.0:1	20.0:1
DRIVE UP CANOPY	+	8.2 fc	13.7 fc	2.4 fc	5.7:1	3.4:1
ENTRY PLAZA	+	3.9 fc	6.5 fc	2.0 fc	3.3:1	2.0:1
GENERATOR	+	6 fc	11 fc	3 fc	3.7:1	2.0:1
PARKING LOT	+	2.7 fc	28.5 fc	0.2 fc	142.5:1	13.5:1
TRASH ENCLOSURE	+	6 fc	13 fc	2 fc	5.5:1	3.0:1
Calc. Zone #1 (BEYOND PROPERTY LINE)	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A






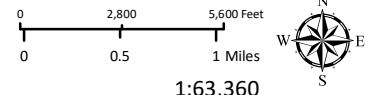
Luminaire illuminance values provided in this report, whether for normal, critical, or emergency applications, are for product application assistance only. These values were developed in collaboration with, and are subject to approval by, the design professional of record (architect/engineer/LC), and are NOT intended for construction. Because these values are approximate and based on limited application information provided to 16500, Inc. at the time of calculation, 16500, Inc. does not warrant the installed performance of the luminaire(s) will match that shown in this report. Please verify all data and conditions to assure the accuracy of the report. 16500 shall neither be responsible nor liable for design, approval, or results of emergency lighting under any circumstances.

Designer
Date 09/27/2024
Scale Not to Scale
Drawing No.
Summary



CASE: PA_24-000015
OWNER: Kevin Nguyen
APN: 002-200-35
APLCT: Redwood Credit Union
AGENT: Doug Hilberman (Axia Architects)
ADDRESS: 414 Perkins St., Ukiah, CA

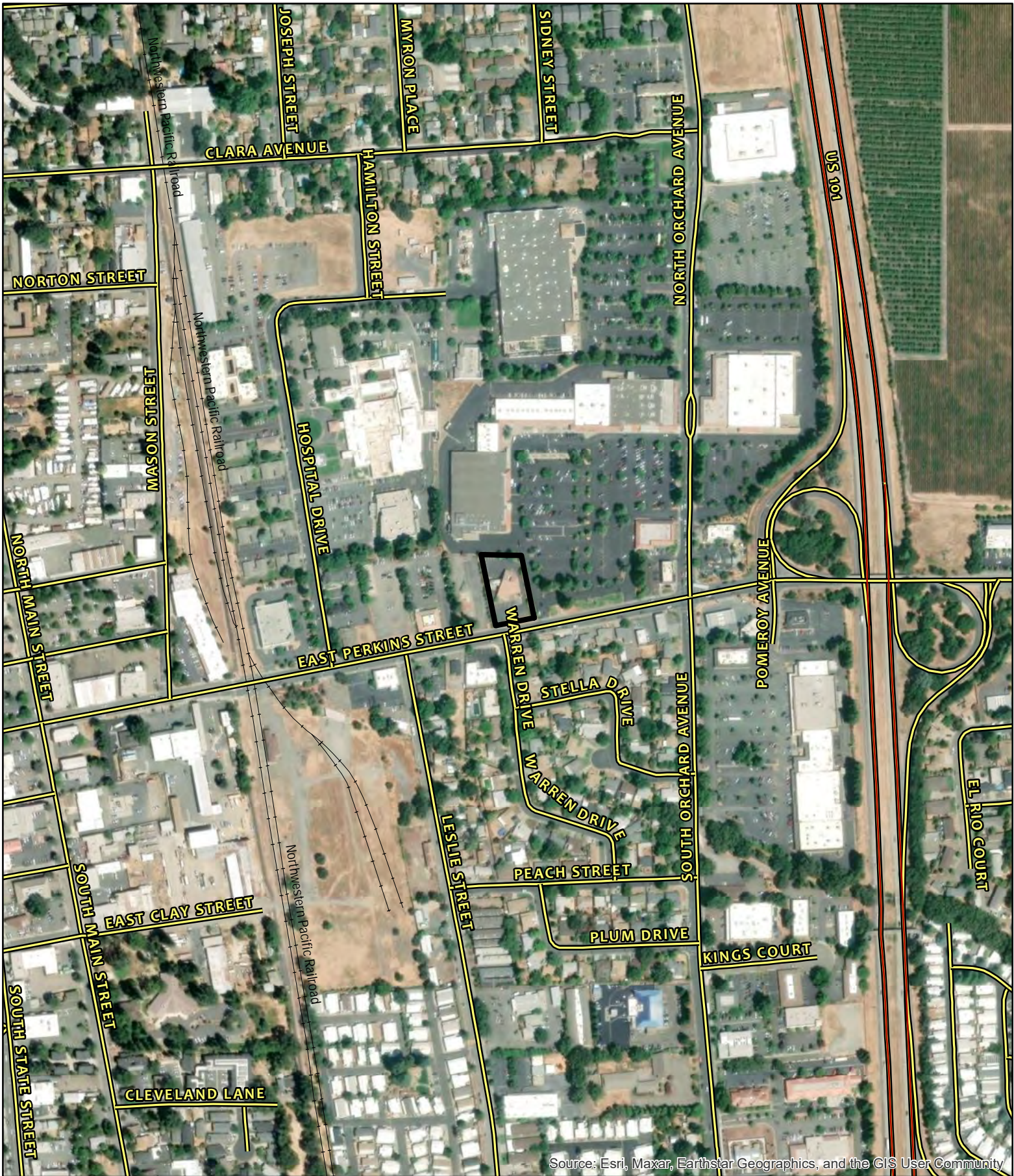
-  City Limits
-  Highways
-  Major Roads



1:63,360

LOCATION

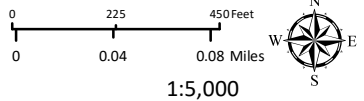
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Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

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— Highways (2017)
— Public Roads
— Railroads



1:5,000

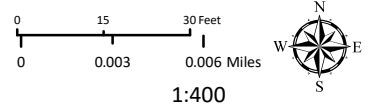
AERIAL IMAGERY

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Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

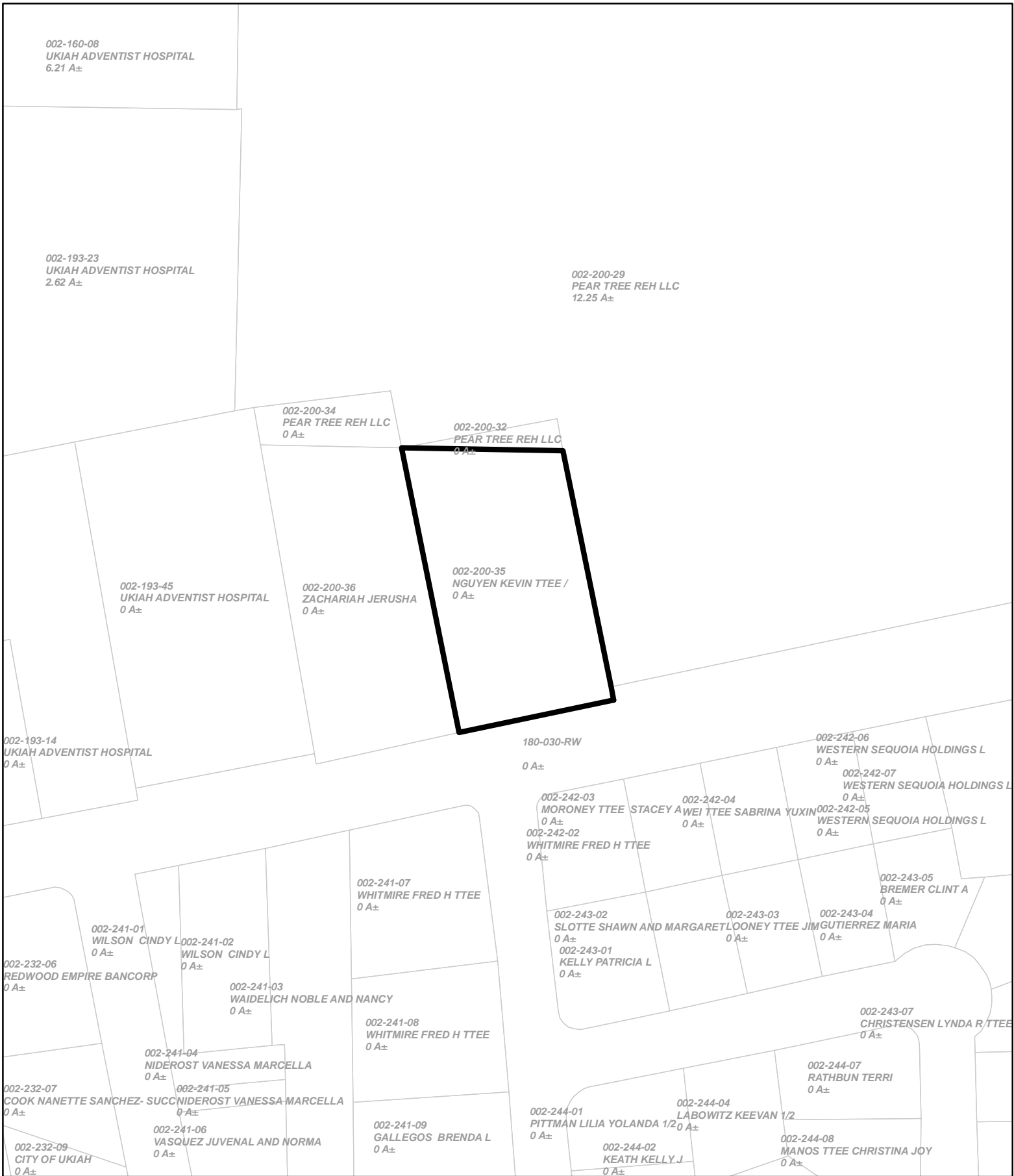
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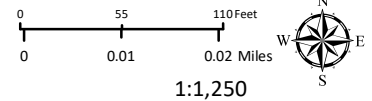
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AERIAL IMAGERY

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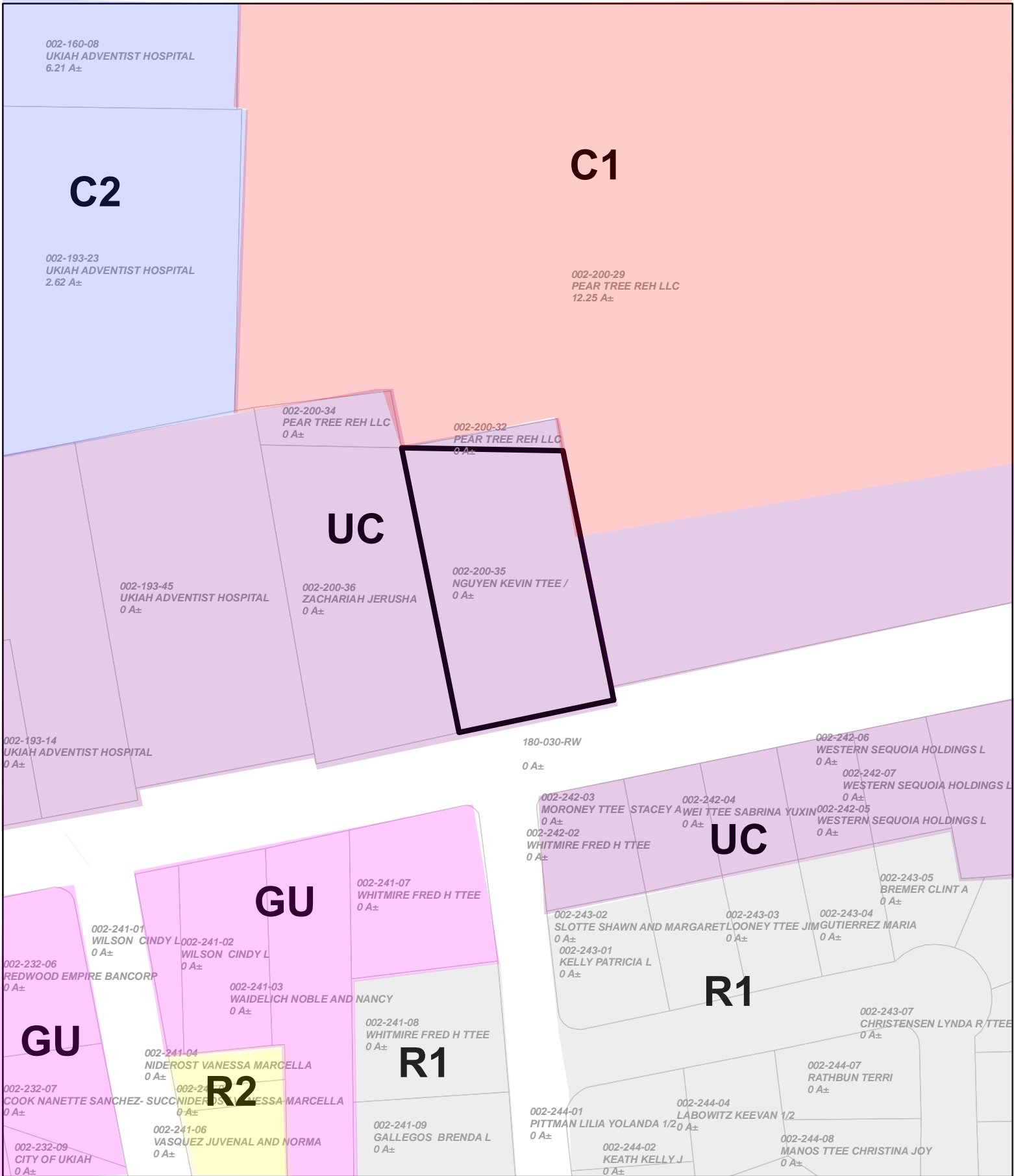


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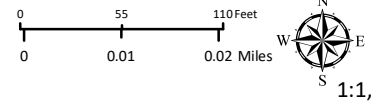


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ADJACENT PARCELS

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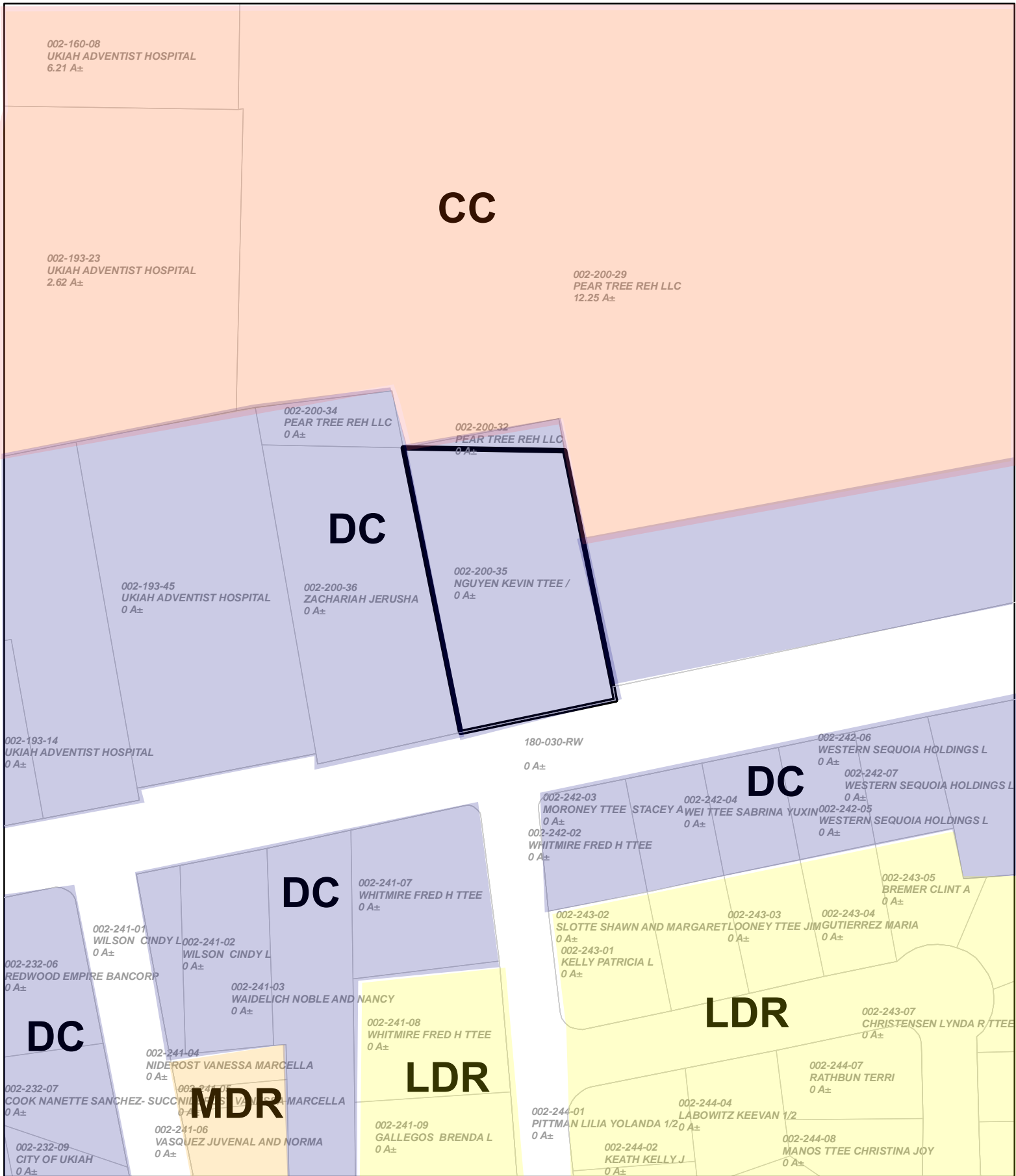


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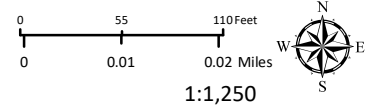
ZONING

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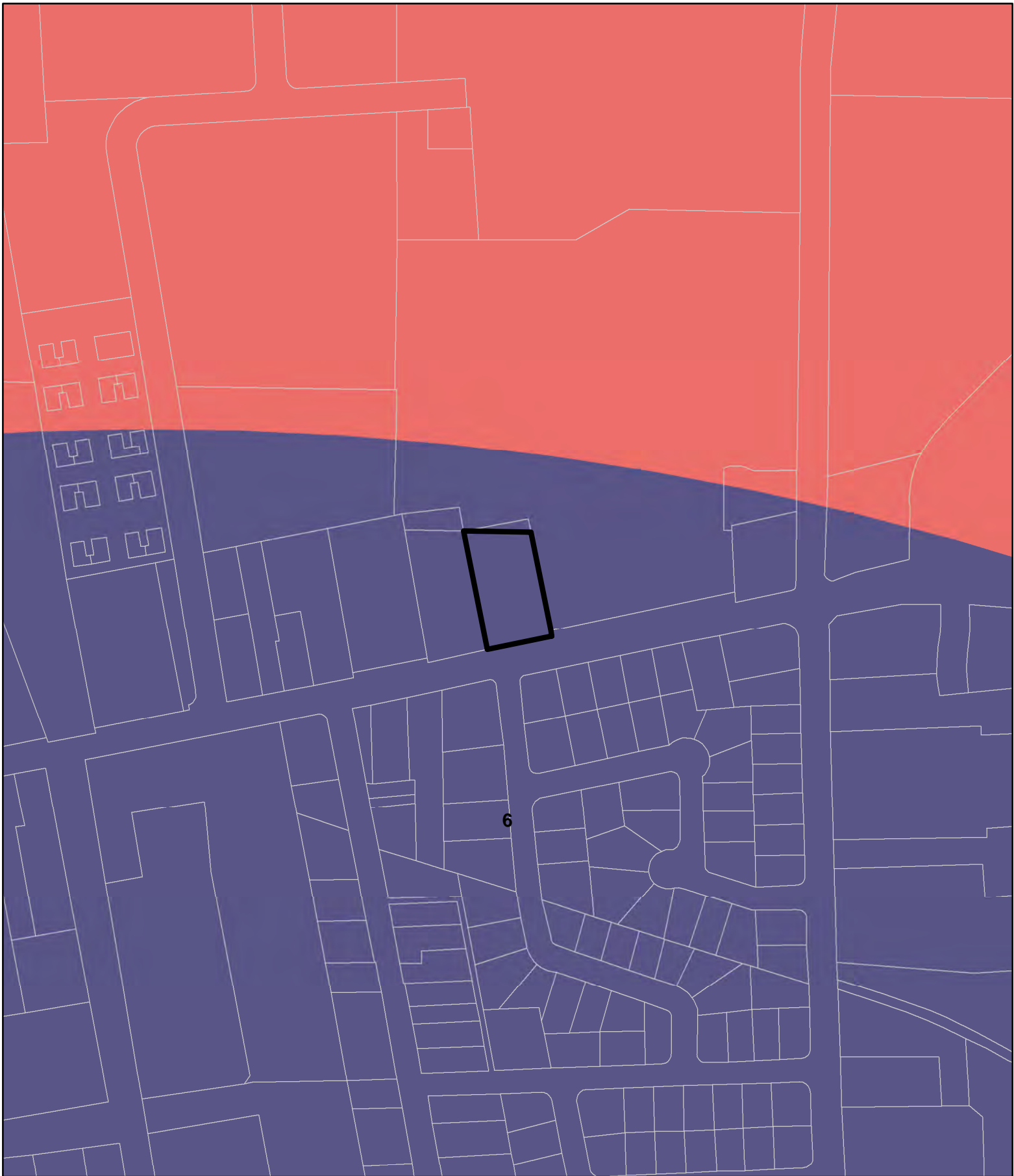
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ADDRESS: 414 Perkins St., Ukiah, CA

Assessors' Parcels



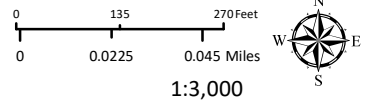
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GENERAL PLAN

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[White Outline] Assessors Parcels Ukiah Airport Zones 052021 [Blue Box] 6
 ZONE
 [Red Box]



UKIAH AIRPORT ZONES

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AREA OF MINIMAL FLOOD HAZARD Zone X

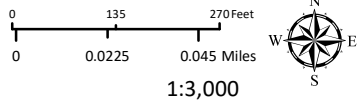
Zone AE

Zone AE

Zone AE

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— Cross-Sections
 ~ Base Flood Elevations
 □ General Structures









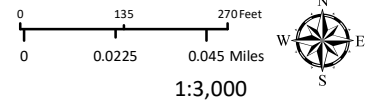
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 FLOOD ZONES

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	Assessors Parcels		20% - 30%
	0 - 10%		30% - 40%
	10% - 20%		40% - 50%



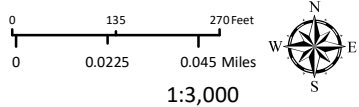
ESTIMATED SLOPE

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Assessors Parcels



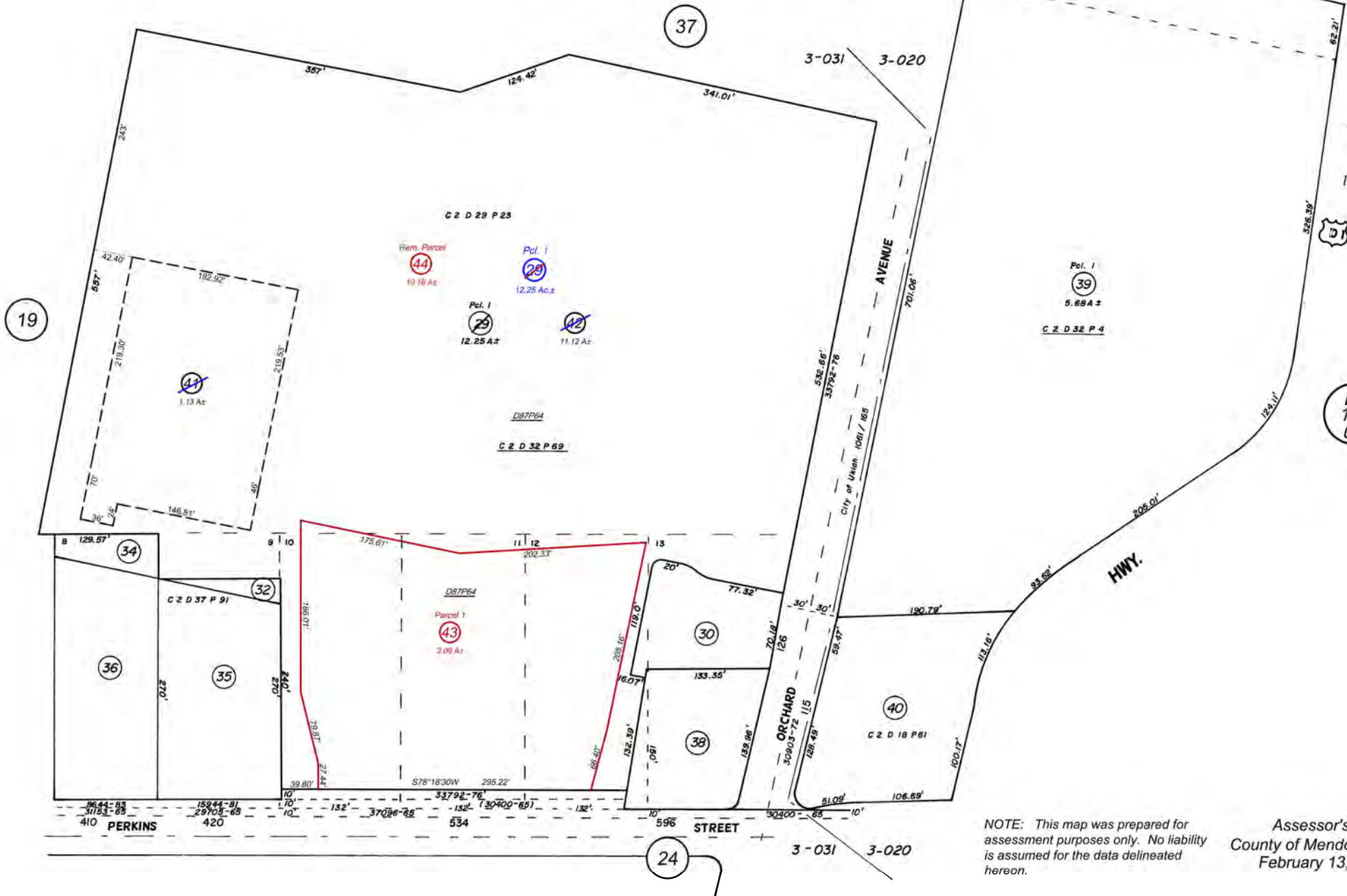
WILDLAND-URBAN INTERFACE

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Ukiah City
 Por. Lot 23 of Yokayo Rancho
 Lots 7-13 Perkins Addition

3-020
 3-031

2-20



NOTE: This map was prepared for assessment purposes only. No liability is assumed for the data delineated hereon.

Assessor's Map
 County of Mendocino, Calif.
 February 13, 2020



FOR SALE
Todd Schapmire
707-870-9855
W





PO BOX 1000
SANTA ROSA, CA 95402

540 MENDOCINO AVE
SANTA ROSA, CA 95401

January 28th, 2023

Department of Community Development
City of Ukiah
300 Seminary Avenue
Ukiah, California 95482

Re: 414 East Perkins Street Entitlement Submission

Dear Planner,

The current status of 414 East Perkins Street is in disrepair. The photos in **Exhibit A** were taken recently and convey a general sense of the existing conditions. Any prospective new owner will need address these issues prior to occupancy.

According to interpretation provided by the Ukiah's Community Development Director, Craig Schlatter, Section C of Non-conforming Structures in the DZC is for "minor repair or major repair due to other damage that is not a natural disaster or accident". Neither the Downtown Zoning Code, nor the Ukiah Zoning Code specifically define "damage". Thus, according to the Ukiah Zoning Code, the word "shall be defined as set forth in current dictionaries." The Oxford Dictionary defines damage as follows; "Physical harm that impairs the value, usefulness, or normal function of something."

In our opinion, the current building at 414 East Perkins has been damaged, as the floors, trim, casework, ATM's, and other significant features have been physically harmed in a manner that impairs their value, usefulness, and/or normal function. We have provided a series of photos in **Exhibit A** to document some of the current conditions. The damage does not appear to have been from an accident or natural disaster, thus we believe it would be reviewed under Section C of the Non-conforming Structures. **Exhibit B** shows the building finishes and conditions in its useful functional state during the previous occupancy of the building.

It is reasonable that the future occupant should request a similar functional state as the previous occupant. The current state of deterioration must be repaired to achieve this. Unfortunately, the Building Code and Fire Code view repair differently than the Zoning Code. The extent of repairs triggers certain required code upgrades such as CFC fire sprinklers and CBC Chapter 11B Accessibility. The parking, entries, break room, and restrooms are currently not ADA compliant. We believe these code upgrades should be allowed under Section 9231.16 Exemptions, Part A.

The proposed exterior scope of work is a combination of damage repair and maintenance. The roof is nearing the end of its life and has leaked in some locations. The HVAC has been inspected and been deemed to need replacement. Some rot and deterioration has been

spotted on facias, trim, and siding. The former ATM's were damaged (removed) and need replacement.

Attached in **Exhibit C** is a cost estimate for the prospective owner's scope of work. The scope has been broken down at the bottom of the page by the following categories as identified in Sections C of 9231.14 and Exemptions in Section 9231.16: Repairs, Maintenance, Voluntary Modifications, and Code Upgrades. **Exhibit D** provides a breakdown of the construction elements by category. The Voluntary Modifications are comprised of the additional walls and interior relites for offices and the seismic brace relocation. The purpose of the additional relites and movement of the seismic brace out of the middle of the room is for better visual sightlines for the safety purposes.

Exhibit E is the professional appraisal for the building.

Sincerely,



Douglas Hilberman
President
AXIA Architects

- Encl: Exhibit A: Photos of Existing Conditions
Exhibit B: Photos of Prior Occupant
Exhibit C: Western Builders Construction Estimate
Exhibit D: Categorization Approach to Cost Estimate
Exhibit E: Appraisal

EXHIBIT A:



Damaged concrete floor.

Damaged walls

Casework missing. Needs repaired

Casework missing. Needs repaired.

Uneven floors, a code violation.

Damaged base trim.

EXHIBIT A:



Ceiling tiles broken in many locations

Floors damaged and finishes gone.

Base trim damaged.

Door requiring repair.

Electrical requiring repair.

EXHIBIT A:



Damaged walls

Hardware is not code compliant.

Damaged base trim

Damaged floors

Doors in need of repair

Cabinets needing repair

Non-code compliant range top.

Non-compliant sink

Non-code compliant cabinet

Damaged base trim

Damaged concrete floor.

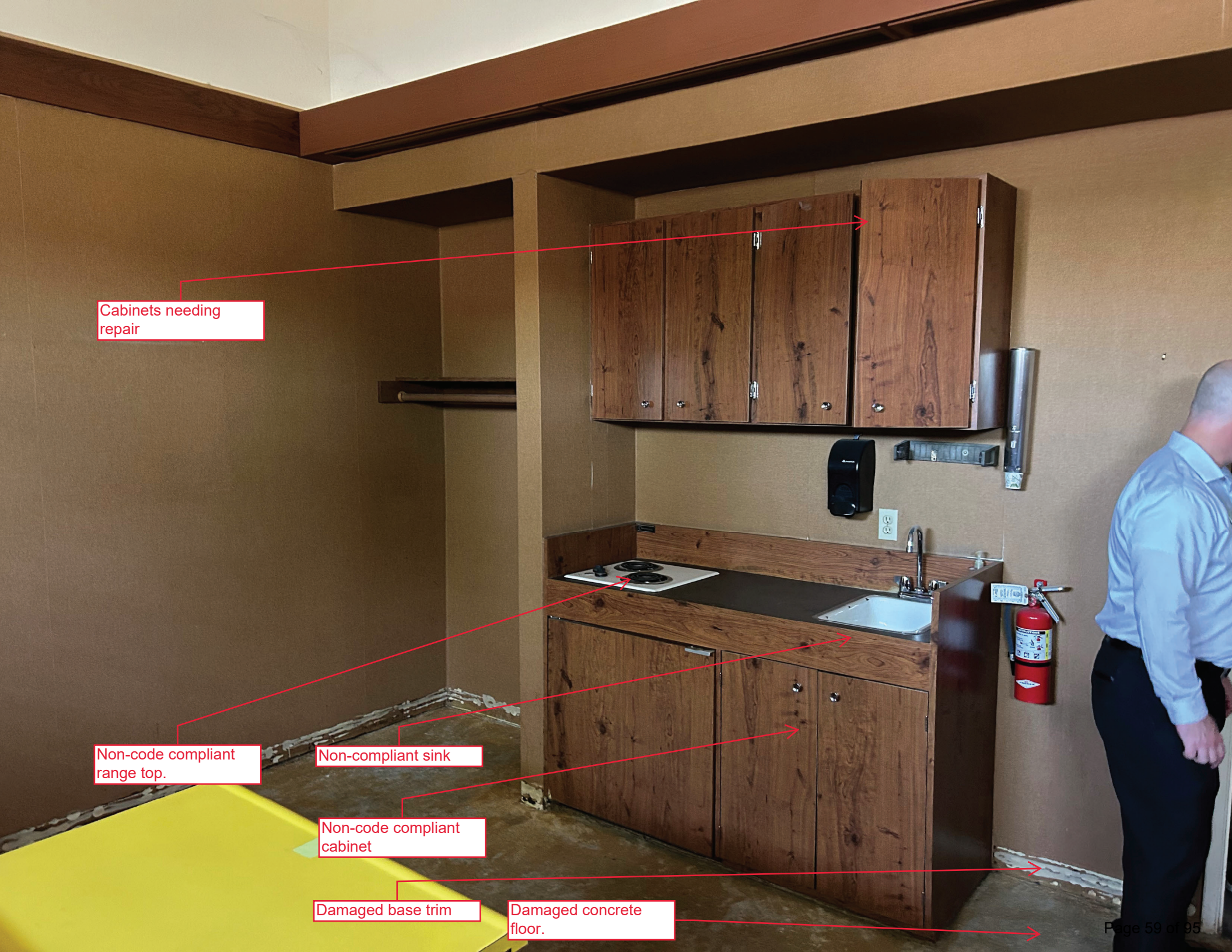


EXHIBIT B: PRIOR OCCUPANCY



EXHIBIT B: PRIOR OCCUPANCY



EXHIBIT B: PRIOR OCCUPANCY



EXHIBIT B: PRIOR OCCUPANCY



EXHIBIT B: PRIOR OCCUPANCY



EXHIBIT B: PRIOR OCCUPANCY



EXHIBIT C - Excluded

EXHIBIT D:

EXHIBIT D: 414 EAST PERKINS STREET COST ESTIMATE BREAKDOWN CATEGORIES 11.28.23 s

TYPE OF WORK	REPAIR	MAINTENANCE	CODE UPGRADE	VOLUNTARY MODIFICATIONS
SITE:				
Accessible parking stalls and path of travel			X	
ATM's	X			
BUILDING EXTERIOR:				
HVAC replacement		X		
Roof Replacement	X			
Painting		X		
Dry Rot Repair	X			
Storefront Replacement	X			
Relocated Seismic Brace				X
BUILDING INTERIOR				
Seal Concrete Flooring		X		
Frame new offices				X
New casework to replace removed casework	X			
New trim to replace removed trim	X			
New doors and hardware	X - Doors		X- Hardware	
New interior glazing				X
New carpet to replace removed flooring	X			
New tile to replace removed flooring	X			
New wall finishes	X			
Paint	X			
Ceiling repairs	X			
New ceilings	X			
Restroom reconfiguration				X
Restroom accessories			X	
Plumbing fixture replacement		X		
Rerouting plumbing lines				X
Mechanical duct rerouting				X
Electrical power rerouting				X
Low voltage				X
Sprinkler installation			X	
New light fixtures			X	

EXHIBIT E - Excluded

CITY OF UKIAH

NEGATIVE DECLARATION OF ENVIRONMENTAL IMPACT

NOVEMBER 21, 1980

APPLICANT: SAVINGS BANK OF MENDOCINO COUNTY
MR. CHARLES B. MANNON, PRESIDENT
CAN M. TASER, A.I.A. ARCHITECT

PROJECT & LOCATION: BRANCH FACILITY FOR SAVINGS BANK OF MENDOCINO
NORTH SIDE OF EAST PERKINS STREET, SOUTH OF PEAR TREE CENTER
414 E. PERKINS STREET

In accordance with the California Environmental Quality Act, an analysis has been made of possible environmental impacts of the project by the City of Ukiah Planning Department Staff.

DESCRIPTION OF PROPOSAL:

The applicant proposes to construct a one story (4500 sq. ft.) branch office with four drive-thru units for the Savings Bank of Mendocino. The parcel is one of approximately 33,000 sq. ft. and zoned C-N, Neighborhood Commercial District. Solar panels are used on the building's south elevation.

PROJECT FEATURES HAVING POSSIBLE IMPACT:

1. Drainage. The addition of impermeable surfaces to this site will increase runoff. The project will be engineered to direct runoff to City drainage systems.
2. Traffic. Construction of the facility on this site will increase traffic and congestion on Perkins Street, a major east-west thoroughfare connecting downtown Ukiah with U.S. 101 and residential areas east of Ukiah. Though generally free-flowing traffic, it is sometimes obstructed by freight train movements approximately 6 times in a 24 hour period. Traffic study prepared by TJKM, transportation consultants, completed in May 1979 indicated that East Perkins Street is currently at capacity.

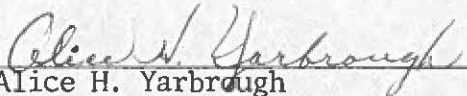
POSSIBLE MITIGATION MEASURES:

- A. Acquire access from the parking lot of the Pear Tree Shopping Center on the north side diverting traffic to Orchard Avenue.
- B. Existing striping on East Perkins Street between the railroad and Orchard Avenue, should be revised as recommended on page 21F of the TJKM Traffic Study, May 1979.
- C. Adequate collection area should be provided for the drive-thru units so that traffic will not become congested in the driveway.

FACTORS SUPPORTING A NEGATIVE DECLARATION:

1. Project is compatible with surrounding land uses.
2. Project will not have a significant adverse effect on air and water quality.
3. Project will not have significant adverse impacts on wildlife, plantlife or fishlife.
4. Project will not cause marked increase in ambient noise levels in the area except during period of construction.
5. Project will not significantly degrade aesthetic quality of the area, as the exterior will be of colors, textures and finishes to be visually appealing.
6. Project will not pose a significant threat to human health and safety.
7. Project will not destroy or detract from important recreational areas.
8. Project will not have significant adverse impacts on local government services, utilities, transportation or solid waste management.
9. The project will not displace persons.

CITY OF UKIAH PLANNING DEPARTMENT
MICHAEL F. HARRIS, DIRECTOR OF PLANNING



Alice H. Yarbrough
Planning Assistant

AHY:ar

CITY OF UKIAH

PROJECT REVIEW COMMITTEE

TUESDAY, DECEMBER 9, 1980

Staff Present

Mike Harris
Vince Cole
Gene Hassler
Ted Goforth
Bill Beard
Ann Robinson

Others Present

Warren Lampson
Duane Hill
George Mills
Can M. Taser
Charles Mannon

SITE DEVELOPMENT PERMIT APPL. NO. 81-25
SAVINGS BANK OF MENDOCINO COUNTY

Michael Harris, Director of Planning, presented the application for site Development for a branch facility for the Savings Bank of Mendocino County, at 414 E. Perkins Street.

Staff has some questions as to the type of design and structure of the building not being compatible with the shopping center. Mr. Taser, Architect, spoke in favor of the project and explained that the design of the building is very functional, especially for the use of solar energy and he believes the design does complement the shopping center. He said he has a model of the building that gives a better conception of the building design. Mr. Harris asked that the model be brought to the Planning Commission meeting of January 14th.

The Committee made the following recommendations:

- 1) 10' wide right-of-way along Perkins Streets to be dedicated to the City.
- 2) All on-site paving to be 2" of asphaltic concrete over a 6" aggregate base.
- 3) All on-site drainage to be taken under the sidewalk to the approval of the Director of Public Works.
- 4) Driveway on Perkins Street be moved to the east five or six feet to separate existing driveway on the adjoining property and the new driveway.
- 5) Existing driveway on Perkins Street be removed and replaced with curb, gutter and sidewalk.
- 6) Building to be one-hour rated or interior fire sprinkler system to be provided.
- 7) New electrical services to be undergrounded at applicant's expense.
- 8) Rear driveway existing toward K-Mart be 24' in width.

SITE DEVELOPMENT PERMIT APPL. NO. 81-27
RURAL COMMUNITES HOUSING DEVELOPMENT CORP.

Michael Harris, Director of Planning, presented the application for site development permit to construction a two story, six-unit apartment house on the northwest corner of Dora & Holden Streets.

Duane Hill and George Mills spoke in favor of the project and were in agreement with the recommendations made by the committee. They did say that the only problem they could foresee was where to place the garbage receptacles for

MEMORANDUM

DATE: JANUARY 9, 1981

TO: PLANNING COMMISSION

FROM: DIRECTOR OF PLANNING

SUBJECT: SITE DEVELOPMENT PERMIT APPLICATION NO. 81-25
SAVINGS BANK OF MENDOCINO
414 E. PERKINS STREET
(NORTH SIDE OF E. PERKINS ST., SOUTH OF PEAR TREE SHOPPING CENTER)

RECOMMENDATION:

1. Approve Negative Declaration.
2. Approve Side Development Permit subject to conditioned noted in this staff report.

ENVIRONMENTAL IMPACT ASSESSMENT:

A Negative Declaration of Environmental Impact has been prepared and is attached for consideration of the Commission.

GENERAL PLAN DESIGNATION:

Commercial

ZONING:

C-1, Light Commercial.

PROPOSAL:

The applicant proposes to develop a 4500 sq. ft., single story branch facility for the Savings Bank of Mendocino.

ANALYSIS:

This innovative design for the future branch office of the Savings Bank proposes to utilize solar energy for water and space heating. The 4500 sq. ft. building will be of wood siding and metal rib roofing with solar panels located on the south elevation.

A ten foot wide dedication has been required on E. Perkins Street of all new development for future street widening and is requested by the City for this parcel.


With this in mind, Staff would recommend that the frontage landscaping be widened to 17½ feet so that at the time of street widening there will still be 7½ feet of landscaping, 2½ feet of which would be automobile overhang. This would assure a minimum of 5 feet of unobstructed landscaping across the parcel frontage. It is also felt that the proposed number of parking spaces is essential; since, the bank will be employing 12-16 persons at that location.

Staff believes the design is very unique and quite a change for Ukiah. The building itself is attractive but staff questions the compatibility of theme with the existing structures in the area, particularly the shopping center. The architect has stated it will complement the area. The applicant will present a model at the meeting to illustrate the structure and site in greater detail.

Staff would recommend approval of the Site Development Permit subject to the following special conditions:

1. Standard Conditions 1-9.
2. A 10 ft. wide right of way along the Perkins Street frontage be deicated to the City.
3. All on-site paving to be 2" of asphaltic concrete over a 6" aggregate base.
4. All on-site drainage to be taken under the sidewalk to the approval of the Director of Public Works.
5. Proposed driveway on Perkins Street be moved easterly 5-6 feet to separate existing driveway on the adjoining property and the new driveway.
6. Existing driveway on Perkins Street be removed and replaced with curb, gutter and sidewalk.
7. Building to be one-hour-rated or interior fire sprinkler system to be provided.
8. New electric services to be undergrounded at applicant's expense.
9. Rear driveway exiting toward K-Mart be 24 ft. in width.
10. Trash collection facilities be aesthetically screened from view.
11. Landscaping along parcel frontage be widened to a minimum of 17½ feet.
12. Landscaping be maintained in a neat weed free manner and irrigated by automatic irrigation system.
13. Landscaping plan to be approved by the Director of Planning prior to placement.
14. All signing to conform to City of Ukiah Sign Ordinance.

Respectfully submitted,


Michael F. Harris
Director of Planning

MFH:ar

slightly below last year.

Commissioner Velardi stated that the existing sign is visible at the north-bound exit but not in a location to make a decision in advance to exit from the freeway as there is not sufficient reaction time. The object of signage on freeways is for the moterist to avail himself of whatever services are located at a particular location. In that regard, he did not feel the Burger King signage was adequate. He asked applicant if Burger King had to revise their revenue projections when they became aware that the sign would be at ground level? Mr. Kroeger stated that more conservative estimates were made. He further added that if higher signage is allowed, business would increase by 10% to 15%.

In response to the Commission's question, Planning Director Harris stated that the present sign ordinance states that economic hardship is not a basis for a variance.

Commissioner Velardi felt that CalTrans logo sign program was not realistic and felt this could not be relied upon in making a decision in this case. He also felt there were obvious physical difficulties to viewing the sign southbound. He suggested that perhaps the applicant could enter into an agreement whereby he would be allowed to raise the sign but if Cal Trans logo system is employed in Ukiah, the sign would be lowered. Mr. Kroeger stated he would be agreeable to these conditions.

Commissioner Metzler asked if entering into this type of contract would bring in other freeway businesses asking for the same type of variance and contract? Commissioner Velardi felt this was a possibility but Perko's, for instance, was not brought in under the transition phase of a sign ordinance.

On a MOTION by Commissioner Thomas, seconded by Commissioner Gorny, it was carried by the following roll call vote to deny Variance No. 81-32, Burger King, to permit a 45 foot sign on parcel located at 711 E. Perkins Street:

AYES: Commissioner Gorny, Kelley, Thomas, Chairman Fenter
NOES: Commissioner Metzler, Velardi
ABSENT: None

SITE DEVELOPMENT PERMITS

SITE DEVELOPMENT PERMIT APPLICATION NO. 81-25, SAVINGS
BANK OF MENDOCINO COUNTY TO CONSTRUCT NEW BUILDING AT
400 BLOCK OF EAST PERKINS STREET

Planning Director Harris stated that applicant proposes to develop a 4500 sq. ft. single story branch facility for the Savings Bank of Mendocino County immediately south of K-Mart on Perkins Street. The design for the branch office proposes to utilize solar energy for water and space heating. The building will be of wood siding and metal-rib roofing with solar panels located on the south elevation. Staff is recommending

that frontage landscaping be widened to 17½ feet to accommodate future street widening and that the rear exit be widened to 24'.

Tan Taser, architect, reviewed the design concept and solar features for the Commission and answered questions.

On a MOTION by Commissioner Thomas, seconded by Commissioner Metzler, it was carried by the following roll call vote to approve the Negative Declaration:

AYES: Commissioner Gorny, Kelley, Metzler, Thomas, Velardi,
Chairman Fenter

NOES: None

ABSENT: None

Chairman Fenter asked if applicant would agree to the 17½ foot frontage landscaping requested by staff? Mr. Taser stated that would be agreeable.

Commissioner Velardi asked for an explanation on the car window stacking area and north exit lanes. Mr. Taser felt traffic entry at the north-side could be handled by signage. Traffic for the drive through banking would enter from Perkins Street only and the back entrance will not be used to enter the driveup facilities. Staff questioned this circulation pattern and it was determined that two way traffic could be accommodated at the north access drive.

On a MOTION by Commissioner Metzler, seconded by Commissioner Gorny, it was carried by the following roll call vote to approve Site Development Permit Application No. 81-25, Savings Bank of Mendocino County, 414 E. Perkins Street subject to the following conditions:

1. Standard Conditions 1-9
2. A 10 ft. wide right of way along the Perkins Street frontage be dedicated to the City.
3. All on site paving to be 2" of asphaltic concrete over a 6" aggregate base.
4. All on site drainage to be taken under the sidewalk to the approval of the Director of Public Works.
5. Proposed driveway on Perkins Street be moved easterly 5-6 feet to separate existing driveway on the adjoining property and the new driveway.
6. Existing driveway on Perkins Street be removed and replaced with curb and sidewalk.
7. Building to be one hour rated or interior fire sprinkler system to be provided.
8. New electric services to be undergrounded at applicant's expense.
9. Rear driveway existing toward K-Mart be 24 feet in width.
10. Trash collection facilities be aesthetically screened from view.
11. Landscaping along parcel frontage be widened to a minimum of 17½ feet.
12. Landscaping be maintained in a neat weed free manner and irrigated by automatic irrigation system.

13. Landscaping plan to be approved by the Director of Planning prior to placement.
14. All signing to conform to City of Ukiah Sign Ordinance.

AYES: Commissioner Gorny, Kelley, Metzler, Thomas, Velardi,
Chairman Fenter
NOES: None
ABSENT: None

SITE DEVELOPMENT PERMIT APPLICATION NO. 81-28, RURAL COMMUNITIES HOUSING DEVELOPMENT CORPORATION TO CONSTRUCT A TWO STORY, 6 UNIT APARTMENT ON THE NORTHWEST CORNER OF DORA & HOLDEN STREETS

Planning Assistant Yarbrough stated the project consists of construction of a two story six unit apartment building on a lot of approximately 9300 sq. ft. Access to the parking area will be from Holden Street. Access to the second floor units will be by stairways located at the north and south end and in the center of the building. Access to the lower units from the parking area is by a door at the rear of one of the carports which has been revised. Staff suggested consideration of an alternative variance for one carport space to allow for an appropriate passageway from the parking lot to the access door for the first floor. Staff is recommending approval of the Negative Declaration and of Site Development Permit application.

Duane Hill, Executive Director, Rural Communities Housing Development Corporation, stated that after the first site plan was submitted, it was found that the property description was incorrect. He stated that the new site plan shows the laundry facilities moved with a notch out of the building in order to preserve the oak tree.

Commissioner Gorny asked for a report on the funding sources and who will benefit from the project. Mr. Hill stated that it is funded by HUD and the project would be for handicapped citizens.

Bob Sgnew, County Mental Health Director, stated that this project would enable citizens ready to return to the community who are currently housed in substandard housing in Ukiah to be given standardized housing.

On a MOTION by Commissioner Metzler, seconded by Commissioner Thomas, it was carried by the following roll call vote to approve the Negative Declaration for Site Development Permit application No. 81-28:

AYES: Commissioner Gorny, Kelley, Metzler, Thomas, Velardi,
Chairman Fenter
NOES: None
ABSENT: None

Mr. Hill requested that the condition requiring automated irrigation system since they have a person who will be responsible for the landscaping, and the removal of curb, gutter and sidewalk because of the substantial expense involved, be deleted from the staff recommended conditions.

CITY OF UKIAH

PROJECT REVIEW COMMITTEE

TUESDAY, FEBRUARY 10, 1981

*Make
FILE
WITH CASES*

Staff Present

Bill Beard
Clif Shepard
Maurice Roper
Alice Yarbrough
Mike Harris
Ann Robinson

Others Present

Dink Farmer
Henry Mercer
Marilyn Ogle

SITE DEVELOPMENT APPL. NO. 81-38
FARMER BROTHERS, BRUSH STREET

Alice Yarbrough, Planning Assistant, presented the application for a Site Development Permit on Brush Street.

Dink Farmer, applicant, spoke in favor of the project and said that the proposed building will have office and showroom space in the front and an auto repair shop in the rear of the building. The only problem staff had with the project is the proposed parking area. Mr. Farmer said that as they deal only with small foreign cars the parking area is ample. Staff noted the area is short one parking space according to regulations but thought alternate plans could be worked out so Mr. Farmer can proceed with his plans for construction.

The Committee made the following recommendations:

1. A 2 hour firewall to be constructed on the west wall.
2. A 1 hour firewall separation be provided between the office area and auto repair shop.
3. All on-site drainage to be taken to the existing system on the east side.
4. Driving area to be paved with 2" of asphaltic concrete over a 6" aggregate base.
5. Arrange for payment of fees and installation of sewer and water laterals.

SAVINGS BANK OF MENDOCINO COUNTY

Henry Mercer appeared before the Project Review Committee for staff's input regarding a tentative proposal for either remodeling the existing Savings Bank Building or constructing a new building adjacent to the present building and then demolishing the old building. The main problem with utilizing the present site is the lack of adequate customer parking. Mr. Mercer said it would be preferable to utilize the downtown area rather than moving the banking facilities to another area but there is no land available large enough to accommodate the size building proposed with ample customer parking available in the downtown area.

Staff had some suggestions for Mer Mercer, such as adding another floor on to the present building, changing driveways into parking areas to the middle

of the block instead of close to the intersections and changing position of drive-up windows to allow for more stack-up area.

Mr. Mercer will report back to the representatives of the Savings Bank with staff's suggestions and report back to the Planning Staff when the plans are revised and he has more information.

the handicapped. Mr. Schutz said he would discuss this with the McDonald Corporation and thought they would be willing to go along with this request.

ARCH. REVIEW NO. 81-87
SAVINGS BANK OF MENDOCINO COUNTY
420 E. PERKINS STREET

Planning Assistant, Alice Yarbrough, presented the proposal by the Savings Bank for construction of a building at 420 E. Perkins Street. This project has been revised from the previous plan submitted to this Committee previously.

Mr. Axt, representing the Savings Bank of Mendocino County, said that this is a whole new concept from the one submitted earlier this year. The new plan will cut a quarter of a million dollars off the original price. He said the building is planned so it will use little or no heat by utilizing the winter sun. The roof will be of concrete tile which will be compatible to the shopping center. There will be wood facia over the drive-up windows and the balance of the building will have a natural wood look. Aesthetically he thought the building would be very acceptable.

Staff was concerned with the possible widening of Perkins Street in the future which would eliminate some of the landscaping in the front of the parcel. Mr. Axt suggested that tree wells could be constructed at that time. Staff suggested reducing 3' of the planting area in the rear, moving the building back, and thereby gaining more planting area in the front.

Mr. Axt said there will be landscaping to obscure the paving in the rear of the lot and he has also planned extensive landscaping in the overall area.

The Committee made the following recommendations:

1. Existing sewer laterals to be used.
2. Water service to be taken from main to the Shopping Center.
3. 10' wide right-of-way along Perkins Street to be dedicated to the City.
4. All on-site paving to be 2" of asphaltic concrete over a 6" aggregate base to the approval of the Director of Public Works.
5. All on-site drainage to be taken under the sidewalk to Perkins Street to the approval of the Director of Public Works.
6. Existing driveway on Perkins Street to be removed and replaced with curb, gutter and sidewalk to the approval of the Director of Public Works.
7. New electric service to be undergrounded at applicant's expense.
8. Double 4" line conduit in and out of the project.
9. Reduce 3' of planting area in the rear and add to the front of the property.

USE PERMIT APPL. NO. 81-89
RICHARD GOURNO, 635 SO. STATE ST.

Planning Assistant, Alice Yarbrough, presented the application for a use permit to establish an automotive repair shop at 635 So. State Street.

Mr. Gournno would like to lease the Sandelin parcel next to Safeway. This building has previously been a gas station, radiator repair shop, Dairy Store and a game room.

MINUTES OF THE PROJECT REVIEW COMMITTEE
PAGE 3

MAY 26, 1981

TO: PLANNING COMMISSION
FROM: DIRECTOR OF PLANNING
DATE: JUNE 5, 1981
SUBJECT: SAVINGS BANK OF MENDOCINO COUNTY
E. PERKINS STREET
SITE DEVELOPMENT PERMIT APPL. NO. 81-25

RECOMMENDATION: Approve Site Development Appl. No. 81-25 subject to Conditions outlined in this report.

ENVIRONMENTAL ASSESSMENT: A Negative Declaration of Environmental Impact was approved for an earlier application, processing a similar project. No further study is required.

GENERAL PLAN DESIGNATION: Commercial

ZONING: C-1, Light Commercial District

PROPOSAL: To construct a 4500+ sq. ft., one-story branch facility for the Savings Bank of Mendocino County.

ANALYSIS: The Savings Bank has submitted a redesign of its proposed bank. The layout of the development is essentially the same. The concerns expressed during the last review have been addressed on this site plan relative to location of the driveway and driveway widths.

The new design is a wooden building with a tile roof which should complement the shopping center while retaining a separate identity. There will be a wooden fascia over the drive-up windows. The structure is oriented on the parcel to utilize passive solar design.

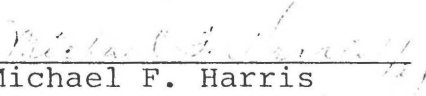
One concern which staff has is the 10 ft. dedication along the Perkins Street frontage for future street widening which would at that time eliminate the frontage landscaping. Staff is recommending that the building be moved three feet northerly narrowing the rear landscaping so that a 5-foot planting area be retained across the frontage after dedication.

Staff believes the design is very well done and much more appropriate than the first proposal. We, therefore, recommend approval subject to the following:

1. Standard Conditions 1-9.
2. A 10 ft. wide right-of-way along the Perkins Street frontage be dedicated to the City.
3. All on-site paving to be 2" of asphaltic concrete over a 6" aggregate base.
4. All on-site drainage be taken under the sidewalk to the approval of the Director of Public Works.

5. Existing driveway on Perkins Street be removed and replaced with curb, gutter and sidewalk.
6. Building to be one-hour fire rated or interior fire sprinkler system to be provided.
7. New electric services to be undergrounded at applicant's expense.
8. Trash collection facilities be aesthetically screened from public view.
9. Landscaping along parcel frontage be widened to a minimum of 15 feet.
10. Landscaping be maintained in a neat weed-free manner and irrigated by an automatic irrigation system.
11. Landscaping plan to be approved by the Director of Planning prior to placement.
12. Signing to conform to City of Ukiah Sign Ordinance.

Respectfully submitted,


Michael F. Harris
Director of Planning

AHY/kz

- 6) * Signing be in conformance with the City of Ukiah Sign Ordinance.
- 7) New utilities be underground to the approval of the various agencies.
- 8) A minimum of seven (7) parking spaces be appropriately striped.

AYES: Commissioner Ivey, Kelley, Metzler, Vandermeij, Chairman Fenter
NOES: None
ABSENT: Commissioner Velardi
ABSTAIN None

SITE DEVELOPMENT PERMITS:

REVISION OF SITE DEVELOPMENT PERMIT NO. 81-87,
SAVINGS BANK OF MENDOCINO COUNTY, 420 E. PERKINS ST.

Acting Planning Director Yarbrough presented this revised application. A Negative Declaration of Environmental Impact was approved for the earlier application processing. The General Plan Designation is Commercial and the zoning is C-1. The proposal is to construct a one-story structure (approximately 4500 sq. ft.) for the Savings Bank of Mendocino County. The exterior of the building will be natural wood, wood fascia over the drive-thru window areas with a tile roof. The proposed parking as shown meets the City Code. The concerns with the original design have been addressed on the current site plan, namely the widths of the driveways, the location of the driveway ingress and egress on Perkins Street, driveway to Pear Tree Center and building design.

Staff recommends that the building be moved three feet northerly to accommodate a greater landscaping area in the front because of a 10' dedication along the Perkins Street frontage. With a landscaping area of 12', at such time as the street is widened, it would have narrowed the landscaping to two feet. Thus, the recommendation of the moving of the building by three feet would allow for a five foot landscaping area after widening.

Ms. Yarbrough reported that the applicant requests a two foot move to allow wider landscaping along the rear property line. A 40' access easement north of the parcel to accommodate truck traffic from K-Mart as well as allow a pedestrian walkway from the shopping center is planned. Existing landscaping on the east side as well as the south side of the parcel will remain.

Commissioner Thomas stated that he would abstain from discussion due to possible conflict of interest.

Bob Axt, architect for the project, presented pertinent information regarding the building and site plan. The building is at a 30 degree angle to Perkins Street, with the unattractive part of the drive-up banking facility well screened from the street. He pointed out that the building rises to 28 feet with a trombe wall for internal air circulation and glass will be oriented for passive solar heating.

Mr. Axt noted the bank would like to keep at least 3 feet rear landscaping to provide appropriate landscaping.

On a MOTION by Commissioner Metzler, seconded by Commissioner Kelley, it was carried by the following roll call vote to approve Site Development Permit No. 81-87 subject to the following conditions:

- 1) Standard Conditions 1-9.
- 2) A 10 ft. wide right-of-way along the Perkins Street frontage be dedicated to the City.

- 3) All on-site paving to be 2" of asphaltic concrete over a 6" aggregate base.
- 4) All on-site drainage be taken under the sidewalk to the approval of the Director of Public Works.
- 5) Existing driveway on Perkins Street be removed and replaced with curb, gutter and sidewalk.
- 6) New electric services to be undergrounded at applicant's expense.
- 7) Trash collection facilities be aesthetically screened from public view.
- 8) Landscaping along parcel frontage be widened to a minimum of 14 feet.
- 9) Landscaping be maintained in a neat weed-free manner and irrigated by an automatic irrigation system.
- 10) Landscaping plan to be approved by the Director of Planning prior to placement.
- 11) Signing to conform to City of Ukiah Sign Ordinance.

AYES: Commissioner Ivey, Kelley, Metzler, Vandermeijer and Chairman Fenter

NOES: None

ABSENT: Commissioner Velardi

ABSTAIN: None

SITE DEVELOPMENT PERMIT APPLICATION NO. 81-81
MCDONALD'S, FOR DRIVE-THROUGH SERVICE ADDITION
TO EXISTING RESTAURANT AT 115 NO. ORCHARD AVENUE

Commissioner Thomas stated that he would abstain from this discussion.

Acting Planning Director Yarbrough presented the application to alter the existing building to provide for a drive-through service addition. The code requires a stacking space for at least five cars for a drive-up window. The proposed 31 off-street parking spaces meet the code. There was concern expressed by Project Review Committee that during peak hours, traffic may back up at the intersection of Orchard and Perkins. A second drive-up lane was recommended for the peak hours.

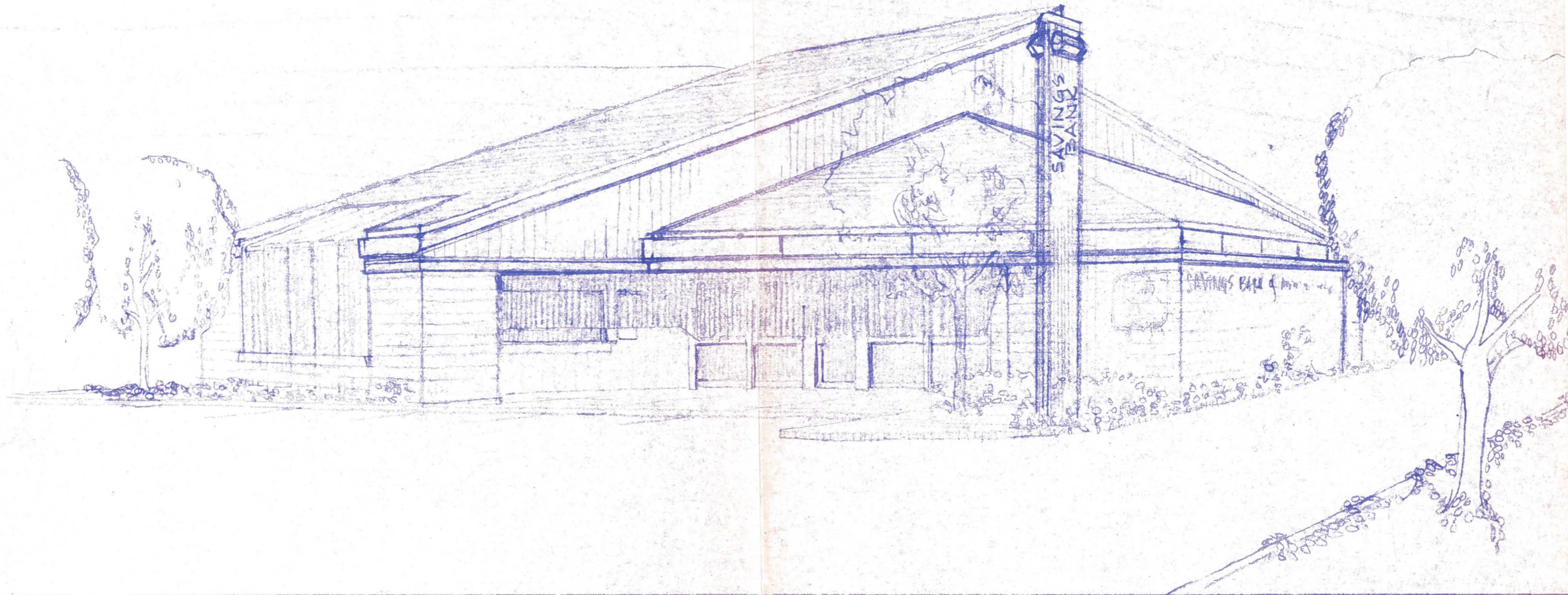
Another concern is the sidewalk at the northeast corner of the intersection, which is too narrow for wheelchairs due to the location of the traffic controller. It is recommended that the applicant widen the sidewalk by approximately 3 ft. to facilitate pedestrian and handicap access.

It was further noted that it is in conflict with the Sign Ordinance to place "drive-thru" on the existing non-conforming free-standing sign. A directional drive-thru sign at the access off of Orchard Avenue will be allowed.

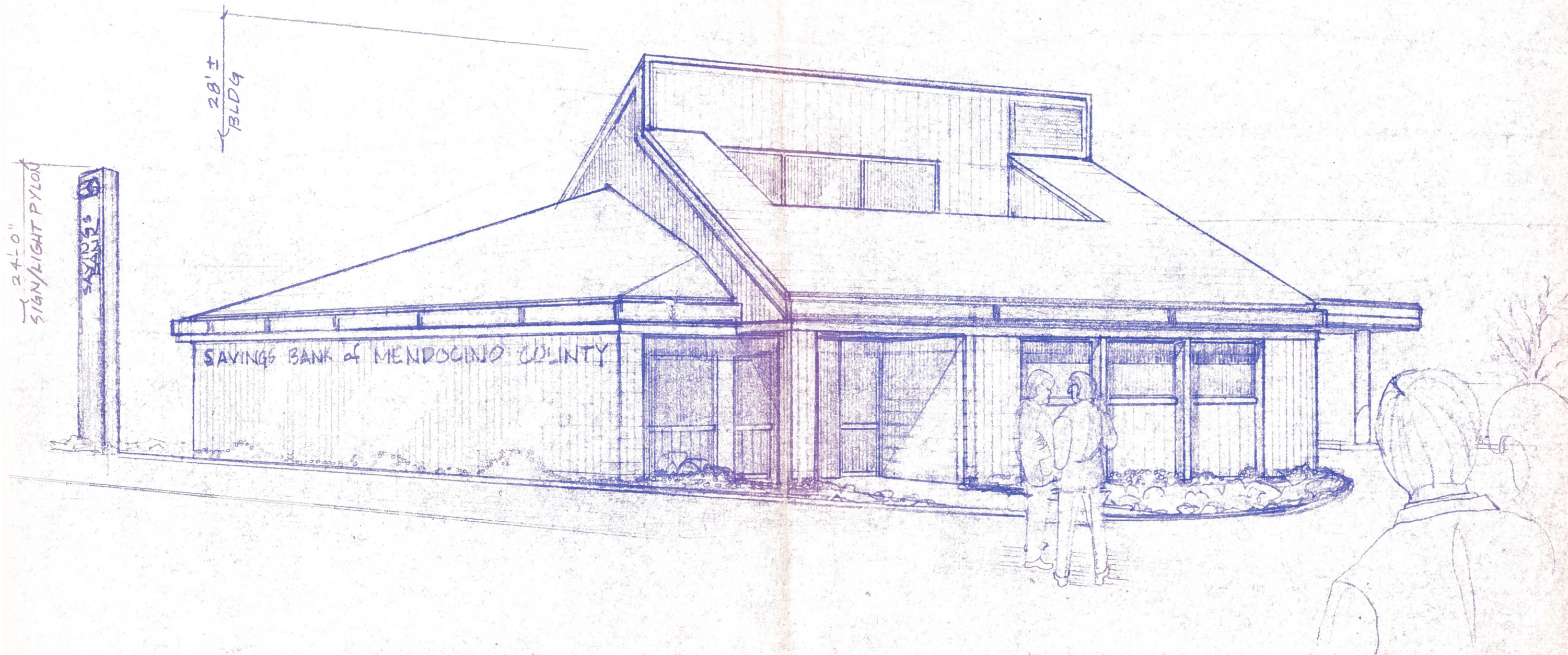
Ms. Yarbrough pointed out that it has been the custom at McDonald's for one of their personnel to direct traffic during the peak hours.

It is also recommended that the areas marked "painted areas" on the plan be changed to "an extension of landscaping".

Nick Schutz, 271 Mendocino Place, stated that the reason why there are "painted areas" indicated on the plan is for easier turning. He also requested that the word "dedicated" in condition no. 2 be changed to read "provided" as the property belongs to the McDonald's Corporation. He commented that he would personally pay for the sidewalk work done.



SAVINGS BANK of MENDOCINO COUNTY
PERKINS STREET BRANCH
VIEWED FROM SOUTH-EAST (PERKINS STREET)



SAVINGS BANK of MENDOCINO COUNTY
PERKINS STREET BRANCH
VIEWED FROM NORTH-EAST (SHOPPING CENTER)



PROJECT REVIEW REFERRAL
Please provide comments by: November 8, 2024

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.

TO:			
<input checked="" type="checkbox"/>	City of Ukiah, Community Development Director	<input checked="" type="checkbox"/>	Mendocino County Air Quality Management District
<input checked="" type="checkbox"/>	City of Ukiah, Building Inspection Division	<input checked="" type="checkbox"/>	Ukiah Police Department
<input checked="" type="checkbox"/>	City of Ukiah, Fire Prevention Division	<input checked="" type="checkbox"/>	City of Ukiah, Code Enforcement Division
<input checked="" type="checkbox"/>	City of Ukiah, Electrical Utility, Department	<input checked="" type="checkbox"/>	Ukiah Valley Fire Authority
<input checked="" type="checkbox"/>	City of Ukiah, Public Works Department	<input checked="" type="checkbox"/>	City of Ukiah, City Manager's Office

PROJECT INFORMATION:	
Project Name & Permit #:	Redwood Credit Union – Major Site Development Permit #PA24-000015
Site Address & APN:	414 East Perkins Street, Ukiah, CA; APN (002-200-35)
General Plan:	“DC” Downtown Core
Zoning:	“UC” Urban Center
Airport Compatibility Zone:	“Zone 6”
Date Filed:	10.06.2024
Resubmittal:	N/A
Date Referred:	10.24.2024
Prev. Projects on Site (include file #)	SDP 81-87 (SBMC Drive-Thru Bank)
Applicant/Agent Name:	Doug Hilberman (AXIA Architects)
Phone:	707-514-6061
Email:	dhilberman@axiaarchitects.com
<p>Project Summary: The existing commercial structure was finalized in 1982, as conditioned by Site Development Permit No. 81-87. From 1982 - 2016, the structure and parcel were utilized by a branch of a local 'Financial Services' company. Since closure of the branch in 2016, the property has remained vacant. Per the Downtown Zoning Code, the subject structure is now considered "Legal Nonconforming."</p> <p>Presently, the Applicant (Redwood Credit Union), seeks to renovate and reuse this 'Nonconforming Structure' and requests a Minor Use Permit for voluntary modifications and improvements to the "Nonconforming Structure" per Ukiah City Code Section 9231.14(C)(3), and a Major Site Development Permit to utilize the existing drive-through facility in accordance with Tables 3, 9, and 27 of the Downtown Zoning Code. As detailed in the application materials, the proposed improvements include interior and exterior renovations, minor modifications to the façade and footprint, roof replacement, pedestrian enhancements and improved connectivity to adjacent commercial parcels, expanded landscaping, accessibility and pedestrian circulation improvements, as well as the addition of bicycle parking to both entrances of the structure.</p>	

Please indicate whether you have comments on the second page of this referral packet. Be sure to sign and date below. Return this Project Referral Form by the date noted above to the Project Planner.

Name and Affiliation/Department (Please Print): _____

- No Comment
- Comments / Conditions of Approval Attached

Signature:

Date:



From: [Matthew Keizer](#)
To: [Jesse Davis](#)
Subject: RE: Redwood Credit Union – 414 East Perkins Street, Ukiah, CA (APN 002-200-35) - File No. PA_24-000015 - Agency Referral
Date: Thursday, November 7, 2024 10:06:10 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[File No. PA_24-000015 - RCU 5170.pdf](#)

BUILDING:

1. A permit will be required for T.I. (Tenant Improvements) Please submit plans, building permit application, and hardship form see links below. Please submit four complete plan sets, two wet stamped and signed.

<http://www.cityofukiah.com/NewWeb/wp-content/uploads/2012/07/Building-Permit-Application-03192020-fillable.pdf>

<http://www.cityofukiah.com/NewWeb/wp-content/uploads/2021/11/Disability-Access-Requirements-and-Resources.pdf>

<http://www.cityofukiah.com/NewWeb/wp-content/uploads/2021/11/Tenant-Improvement-Handout.pdf>

<http://www.cityofukiah.com/NewWeb/wp-content/uploads/2021/11/Checklist-Commerical-Permit-Applicaiton.pdf>

<http://www.cityofukiah.com/NewWeb/wp-content/uploads/2021/11/Unreasonable-Hardship-Accessibility-Form.pdf>

<http://www.cityofukiah.com/NewWeb/wp-content/uploads/2021/11/Commercial-Building-Permit-Submittal-Requirements.pdf>

2. The design and construction of all site alterations shall comply with the 2022 California Building Code, 2022 Plumbing Code, 2022 Electrical Code, 2022 California Mechanical Code, 2022 California Fire Code, 2022 California Energy Code, 2022 Title 24 California Energy Efficiency Standards, 2022 California Green Building Standards Code, City of Ukiah, and Ukiah Valley Fire Authority Ordinances and Amendments.

UVFA FIRE:

1. The building area with overhangs is apx 5170. This will require the building to be retrofitted with an NFPA 13 automatic fire sprinkler system. Please provide location of FDC, OS&Y, and any existing hydrants at the time of permit submittal.

Regards,



Matt Keizer, CBO, MCP, CFM
Chief Building Official
Chief Code Enforcement Officer
UVFA Fire Code Official

Email: mkeizer@cityofukiah.com

300 Seminary Ave

Ukiah, CA 95482

Office 707-467-5786

Desk 707-467-5718

Fax 707-463-6204

Inspection 707-463-6739

<http://www.cityofukiah.com/community-development/>

<http://www.cityofukiah.com/uvfa/>

From: Jesse Davis <jdavis@cityofukiah.com>

Sent: Thursday, November 7, 2024 9:20 AM

Subject: FW: Redwood Credit Union – 414 East Perkins Street, Ukiah, CA (APN 002-200-35) - File No. PA_24-000015 - Agency Referral

Good Morning City of Ukiah Colleagues,

Please review and respond to the attached project referral request from the City of Ukiah – Planning Division for:

Redwood Credit Union – Major Site Development Permit
414 East Perkins Street, Ukiah, CA (APN 002-200-35)
File No. PA_24-000015

Background: The existing commercial structure was finalized in 1982, as conditioned by Site Development Permit No. 81-87. From 1982 - 2016, the structure and parcel were utilized by a branch of a local 'Financial Services' company. Since closure of the branch in 2016, the property has remained vacant. Per the Downtown Zoning Code, the subject structure is now considered "Legal Nonconforming."

Proposed Project: On October 6, 2024, the Applicant (Redwood Credit Union) submitted an application to renovate and reuse the 'Nonconforming Structure' at 414 East Perkins Street, and requests a Minor Use Permit for voluntary modifications and improvements to the "Nonconforming

Structure" per Ukiah City Code Section 9231.14(C)(3), and a Major Site Development Permit to utilize the existing drive-through facility in accordance with Tables 3, 9, and 27 of the Downtown Zoning Code. As detailed in the application materials, the proposed improvements include interior and exterior renovations, minor modifications to the façade and footprint, roof replacement, pedestrian improvements and enhanced connectivity to adjacent commercial parcels, expanded landscaping, accessibility and pedestrian circulation advances, as well as the addition of bicycle parking to both entrances of the structure.

Response Deadline – 3pm, Friday 11/8/24: Please respond directly to me by providing written comments on the referral request packet (attached). Separate written correspondence is also acceptable. If you will require additional time to review past the deadline, please let me know. The project will need to undergo review by the City of Ukiah Design Review Board, as well as the City of Ukiah Planning Commission. Your review and responses to this initial project referral are appreciated.

Next Steps – The project will receive evaluation, and a recommendation provided from the City of Ukiah Design Review Board at a Special Hearing on November 21, 2024. Staff projects that the request will be scheduled for review by the Planning Commission on 12/11/2024.

Should you have any questions or require further information, please do not hesitate to reach out. Thank you for your attention to this matter, and your response to this request.

Best Regards,
Jesse Davis



Jesse Davis, AICP
Chief Planning Manager
Department of Community Development
300 Seminary Avenue, Ukiah, CA 95482
P: 707.463.6207
www.cityofukiah.com/community-development

From: Jesse Davis
Sent: Thursday, October 24, 2024 5:01 PM
Subject: Redwood Credit Union – 414 East Perkins Street, Ukiah, CA (APN 002-200-35) - File No. PA_24-000015 - Agency Referral

Good Afternoon,

Please review and respond to the attached project referral request from the City of Ukiah for:

Redwood Credit Union – Major Site Development Permit
414 East Perkins Street, Ukiah, CA (APN 002-200-35)
File No. PA_24-000015

Background: The existing commercial structure was finalized in 1982, as conditioned by Site Development Permit No. 81-87. From 1982 - 2016, the structure and parcel were utilized by a branch of a local 'Financial Services' company. Since closure of the branch in 2016, the property has remained vacant. Per the Downtown Zoning Code, the subject structure is now considered "Legal Nonconforming."

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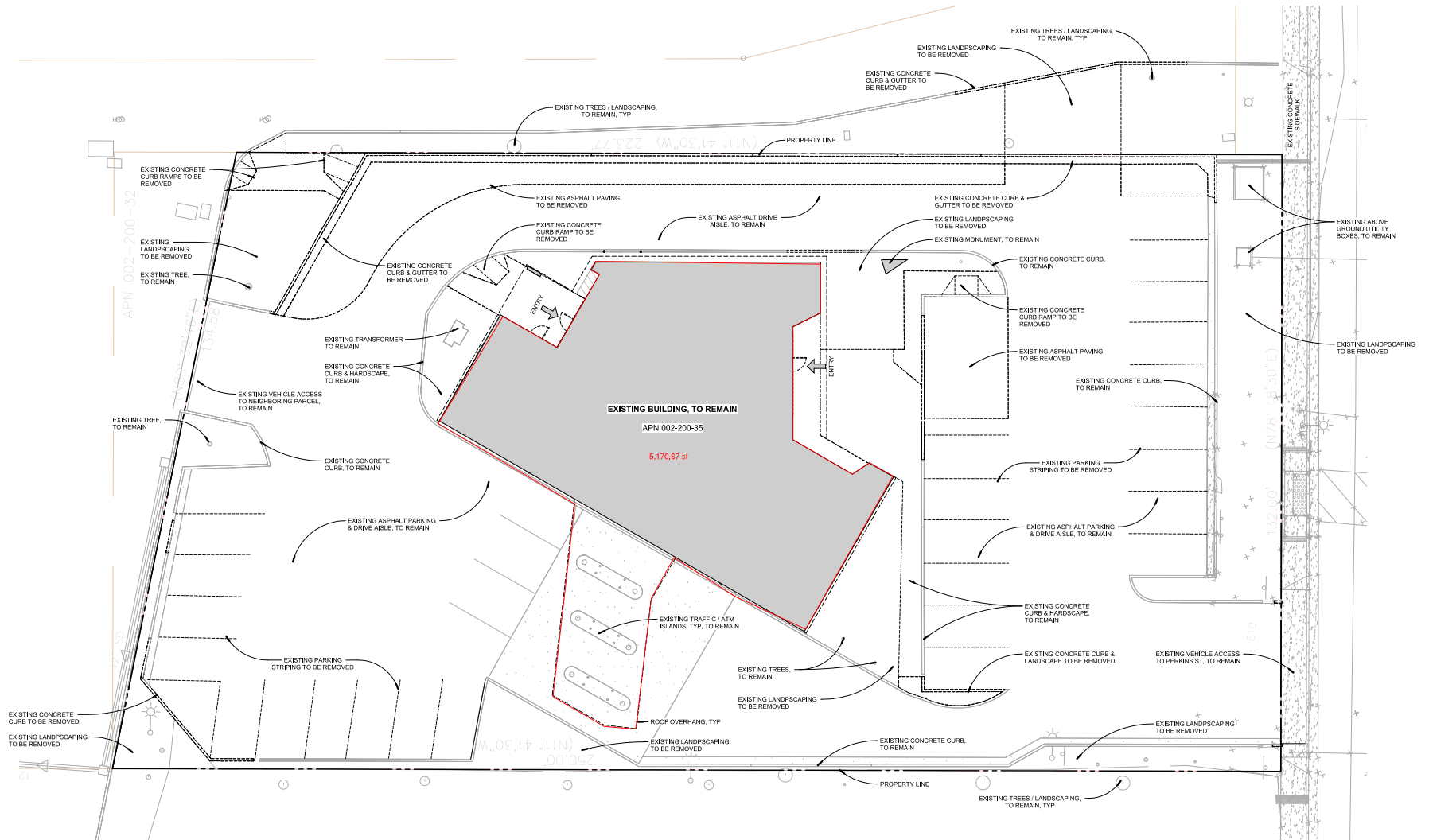
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Jesse Davis



Jesse Davis, AICP
Chief Planning Manager
Department of Community Development
300 Seminary Avenue, Ukiah, CA 95482
P: 707.463.6207
www.cityofukiah.com/community-development



1 CONCEPTUAL SITE PLAN Copy 1
 VATTY 1" = 10'-0"



CONCEPTUAL DEMOLITION
 SITE PLAN



REDWOOD CREDIT UNION - UKIAH BRANCH
 414 EAST PERKINS STREET, UKIAH, CALIFORNIA

PROJECT NUMBER: 1183.10

OCTOBER 08, 2024



PROJECT REVIEW REFERRAL
Please provide comments by: November 8, 2024

The City of Ukiah Community Development Department is soliciting input on the project described below for use in the staff analysis, CEQA document, and public hearing documents. Please identify any questions you have or missing information you need to complete your review, as well as suggested Conditions of Approval.

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Please indicate whether you have comments on the second page of this referral packet. Be sure to sign and date below. Return this Project Referral Form by the date noted above to the Project Planner.

Name and Affiliation/Department (Please Print): MAX BRAZILL / UKIAH POLICE DEPT

- No Comment
 Comments / Conditions of Approval Attached

Signature: Max Brazill Date: 11/4/24





Complaint	Date Received	Call Number	Incident Location
SECURITY CHECK	08/31/2024 3:28:06 AM	240803151	414 E PERKINS ST
BURGLARY	08/29/2024 10:19:03 AM	240802922	414 E PERKINS ST
SUSPICIOUS VEHICLE	07/30/2024 11:25:35 AM	240703288	414 E PERKINS ST
DISTURBANCE	07/22/2024 9:57:31 AM	240702461	414 E PERKINS ST
TRESPASS	05/06/2024 8:41:10 AM	240500479	414 E PERKINS ST
SUSPICIOUS PERSON	03/14/2024 11:48:05 PM	240301342	414 E PERKINS ST
TRESPASS	02/22/2024 9:40:09 AM	240202150	414 E PERKINS ST
DRUNK IN PUBLIC	01/23/2024 4:32:33 PM	240102241	414 E PERKINS ST
INFORMATION	01/09/2024 12:33:50 PM	240100860	414 E PERKINS ST
SUSPICIOUS PERSON	01/09/2024 10:31:44 AM	240100846	414 E PERKINS ST
TRAFFIC STOP	12/28/2023 6:21:02 PM	231202562	414 E PERKINS ST
CITY CODE VIOLATION	12/06/2023 4:49:34 PM	231200510	414 E PERKINS ST
FOUND PROPERTY	11/10/2023 10:33:10 AM	231101078	414 E PERKINS ST