



City of Ukiah

DESIGN GUIDELINES

Commercial Projects Within The Downtown Design District

Welcome to Downtown Ukiah...

Adopted on May 20, 1992, this Design Guide is the result of our efforts to assist you in developing and improving your property. We hope it helps you plan your exterior work within Ukiah's Downtown District.

This Guide is dedicated to meeting our community goals and assisting those involved with the development process in Ukiah's downtown. The Downtown Design District is illustrated on the map on page 7 and encompasses the historical commercial core of the City.

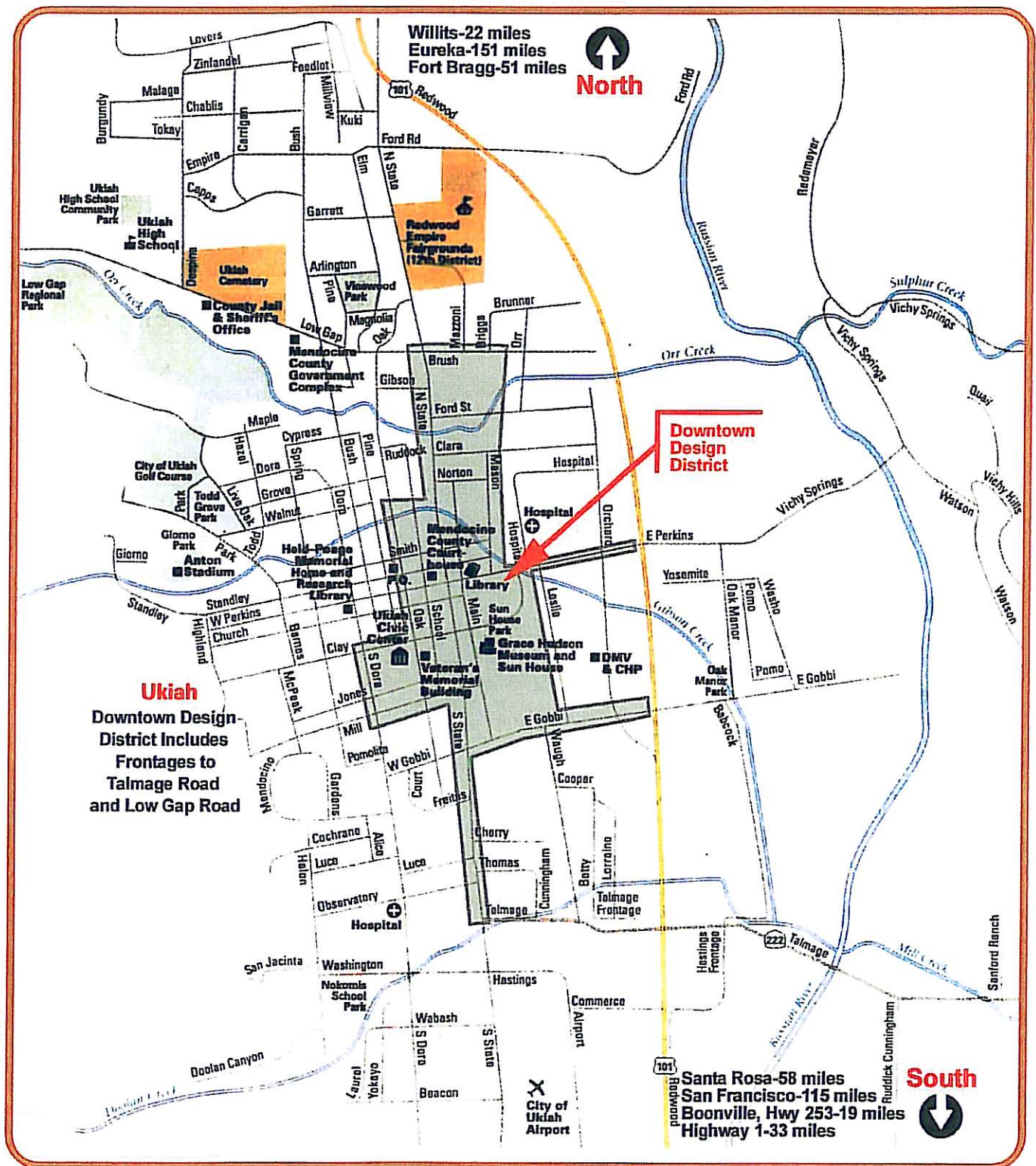
As a member of our community, you own a part of our city's heritage - its past charm, present vitality, and future direction. Our goal is to preserve this quality of life by:

- ❖ Promoting a healthy commercial environment that is attractive and convenient for residents and visitors.
- ❖ Enhancing the pedestrian shopping experience in the downtown.
- ❖ Promoting an attractive and visually unified downtown core with its own distinctive image.
- ❖ Upgrading and maintaining the overall character of our downtown.
- ❖ Building on the distinctive architectural and historic character currently existing in the downtown.
- ❖ Providing better coordination between the design character of new development and redevelopment of existing buildings.

The special standards set forth in this booklet will help protect those assets and fulfill the visions created for the Downtown Design District.

New buildings should attempt to be compatible with the character of the existing viewscape in terms of building height, massing, setbacks and design character. New development should contribute to the visual quality and cohesiveness of its setting, but need not imitate or mimic the details of adjacent development. Reconstruction, repairs, or alterations to existing structures should endeavor to preserve as much of the original character of the building as is possible. While this can be accomplished through the use of alternative materials, the use of original materials provided on the site is encouraged.

Downtown Ukiah Design District



Historical Overview

The arrival of A.T. Perkins in the Ukiah Valley in 1857, marked the beginning of the settlement of Ukiah as a town. The Perkins family purchased a log cabin and acreage from temporary settlers and started a blacksmithing business in downtown Ukiah at what is now the corner of Main and Perkins Streets. The town grew rapidly due to migrations from the depleting California Gold fields. Ukiah captured the coveted county seat designation in 1859, and by May 1, 1860, a City map had been filed at the Recorder's office.

The first buildings, both residential and commercial, were built along Main Street. However, by the 1860's, most businesses had moved up to State Street and into those blocks nearest the Courthouse. The primary building materials of the early periods were wood but a series of disastrous fires prompted use of more fireproof materials. The Ukiah Valley is rich in clay deposits and several brick kilns were started to accommodate the growing demand for local brick. Brick remained the primary material until the 1920's when the use of reinforced concrete emerged.

Early downtown colors, prior to 1910, were usually white, cream, mustard yellow, green or cinnabar. The majority of brick buildings remained in their natural color.

Multi-color painted exteriors were generally not used in the downtown at the time. In later years, building received a stucco finish with earth tones such as cream, beige, or putty predominately used. Trim colors were often red or dark brown. Black tile on bulkhead or under window space was very popular.

The new Courthouse, built in the late 1940's used a soft green tile on its lower half. This color was very popular and was used repeatedly on other buildings. The use of pink concrete block and rose-colored flagstone was also popular at this time.

"...downtown Ukiah has experienced numerous changing identities. These changes should be considered when initiating new development or rehabilitation. No specific historical period is targeted, however, integrated architectural designs with the heritage of a building and its environs are an ultimate goal of this program."

The 1920's brought many changes to the downtown. With completion of the Redwood Highway, signage along State Street proliferated and extended from the buildings, and traditional Victorian facades were stripped to modernize Ukiah's storefronts. The desire of Ukiahans to capture the tourist trade resulted in the demolition of older homes and the large lots being converted into auto courts, restaurants, and gas stations along State Street.

The downtown character of Ukiah essentially remained the same until after World War II. With the arrival of large timber companies after the war, an era of prosperity throughout the greater valley began. The downtown received extensive and rapid modernizations. The 1872 Courthouse was torn down and many of the existing commercial buildings received metal-sheathing facades. Modern design and construction favored long, low single-story buildings, often built from concrete block. The decline in the downtown's economy did not occur until the construction of the 1965 freeway and proliferation of outlying shopping centers.

The personality and appearance of our downtown has been greatly influenced by these events. From the destruction of wood frame buildings by fire in the early 1890's, to modernization of the building facades in post WWII, downtown Ukiah has experienced numerous changing identities. These changes should be considered when initiating new development or rehabilitation. No specific historical period is targeted, however, integrated architectural designs with the heritage of a building and its environs are an ultimate goal of this program.



Approval Process

An important objective of the design review procedure is to better coordinate the processing of your development plans prior to obtaining your Building Permit. This includes streamlining the process to minimize the steps and hurdles in the path to completion of your project. The process outlined here is provided to inform you of how our design review system works from start to finish. We hope it will assist you in understanding what will occur when your project is proposed in the downtown.

At the back of this Guide you will find a checklist of general considerations. You will want to review the checklist once you have reviewed the Guide to determine the compatibility of your project with the downtown design goals.

Steps of the Approval Process

Step 1: Your first step will be to go to the Planning & Community Development Department in the Civic Center and request information to answer the following questions:

- a.) What do I need to apply for development?
- b.) Is my project appropriate for zoning regulations?
- c.) What is my approval process and how much time is involved?
- d.1** Is my project in the Downtown Design District? Are the Design Guidelines applicable to my project? What types of requirements are likely to be imposed?
- e.1** Do I need encroachment permits for outdoor activities in the public right of way?



The primary criteria for development in the Downtown Design District are as follows:

Avoid strong contrasts with adjacent buildings.

Represent high quality design and construction.

Provide functional design solutions.

Variety and distinctiveness are desirable, however, buildings which sacrifice the quality of the general area to make an individual statement are discouraged.

Architectural services are also offered.



Step 2: Upon completion of your application, submit the application to staff at the City of Ukiah, 300 Seminary Avenue.

a.1 If your project involves a site development permit or use permit, City staff will review your project and schedule a public hearing. The final decision will typically be made by the Zoning Administrator or Planning Commission depending on the project scope (refer to step 5a on page 5 of this Guide).

b.1 During project planning you should consult with professionals regarding building construction or renovation requirements. If your building is constructed after 1972, refer to the current Uniform Building Code for seismic requirements. For historic buildings constructed prior to 1972, you may refer to the State Historic Building Code or most recent adopted California building code series. You should verify whether unreinforced masonry walls are part of your building.

Preliminary Review with City Staff

Step 3a: This is an advisory review of your project with the Planning and Community Development Department Staff.

At this time, the Staff will have reviewed your plans with the necessary City Departments and utilities and will be discussing with you information regarding their requirements and recommendations. These Departments include City Electric, Engineering, Building, Public Works and Fire.

For historical renovations, photo-documentation of the chosen period in the building's development should be presented. This information can be obtained

Approval Process (Cont.)

at the Held-Poage Memorial Home and Library, 603 West Perkins Street, or by calling 462-6969. Property owners completing facade renovations are encouraged to review the building's historical background for restoration in accordance with the selected period of the building's development.

Design Review Board

Step 4a: The fourth step is to attend a Design Review Board meeting. This is the last step towards completion of your project design.

The Design Review Board is comprised of members of the community and is advisory to the decision-making body. They will review your project for compliance with the Design Guidelines and exchange concerns and comments with you. It may be advantageous to conduct this step earlier in the process.

New Development

Step 5a: Since your project is for new development and involves a site development permit or use permit, City staff and possibly other agencies will review your project. City staff will schedule a public hearing. The final decision will be made by the Zoning Administrator or Planning Commission depending on the project scope (refer to step 5c on page 5 of this Guide).

New development or substantial modifications to existing development require a more comprehensive review by City departments and public utilities. This helps ensure seismic, building, utility and other codes and standards will be adequate and incorporated into your project. This review will help you understand what your project requirements will be upon approval. You should be aware that substantial construction may trigger city seismic, fire sprinkler, sidewalk, accessibility, impact fee and other requirements.

Staff Review

Step 5b: At this stage Staff reviews the permit to insure compliance with the Downtown Design Guidelines, Ukiah General Plan and other adopted requirements. Staff also performs environmental review according to state and local laws.

Planning Commission

Step 5c: Your final step in the approval process is review by the Zoning Administrator or Planning Commission.

Public notice and a staff report will be provided in advance of the meeting. You should plan to attend the public hearing before the Zoning Administrator or Planning Commission at the Ukiah Civic Center. Public comment is also provided at this time.

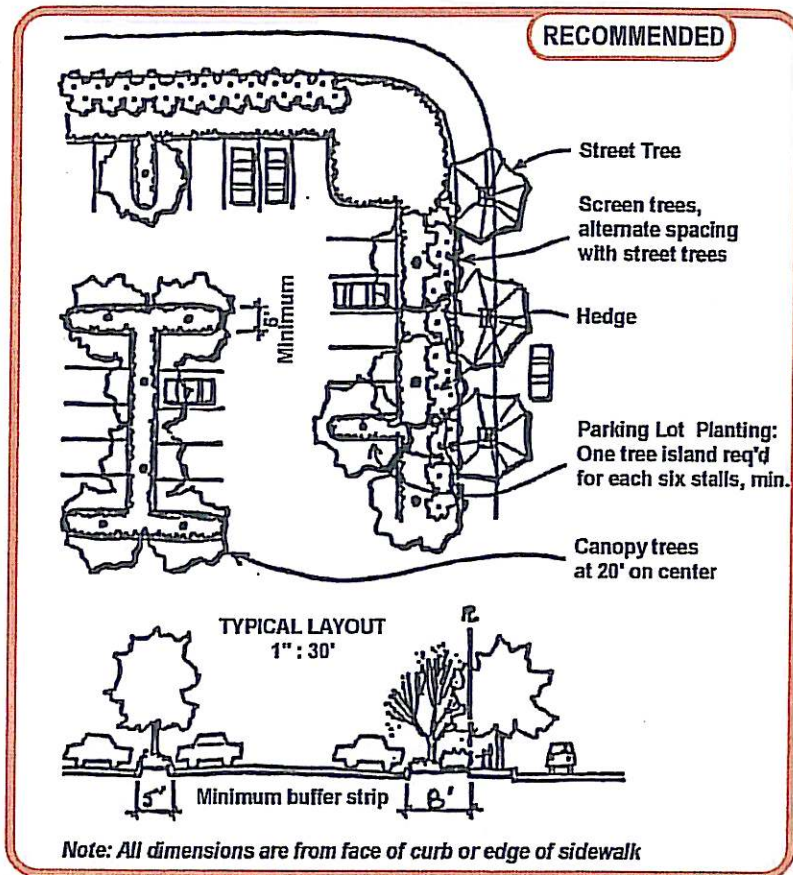
When the decision-making body approves your application, the discretionary review process is complete and you may apply for a building permit following the 10 day appeal period. You must comply with all conditions of approval.

Should the decision-making body disapprove your application, you may resubmit a modified application or appeal the decision to the Ukiah City Council within 10 days of the decision.

Zoning Administrator meetings are scheduled as needed. Planning Commission meetings are scheduled the second and fourth Wednesday of each month. Your project will be scheduled as soon as the review process including environmental review and staff review are conducted. The entire process may take from about 2 to 6 months depending on your application completeness and complexity and the type of environmental document required.

Site Planning

Buffer Strip & Parking Lot Planning



should be coordinated with adjoining properties to avoid inconsistency in use. For example, professional offices would be more appropriate adjacent to residential neighborhoods than high volume retail or restaurant uses. Street level businesses should be oriented to retail, restaurant and personal services. Professional offices are discouraged as storefronts, but should be encouraged as back offices or second stories

Development should not create unattractive views for neighbors or traffic corridors. All exposed elevations should maintain consistent architectural character. Service areas, trash enclosures, utility meters, and mechanical and electrical equipment should be screened from view by solid walls constructed with materials similar to the building. Screening of these areas should be integrated into the overall building and landscape design.

Coordination With Adjacent Properties

Property owners are encouraged to develop shared facilities such as driveways, parking areas, pedestrian plazas and walkways to maximize usable areas and create unique design opportunities.

Setbacks

Setbacks for new development should consider the character of existing adjacent frontages. In the downtown core, minimal setbacks have created a strong architectural presence and

Site Features

Significant site features such as existing trees, lot size and shape, and relationship to surrounding development should be a compelling consideration in determining site design.

Parking

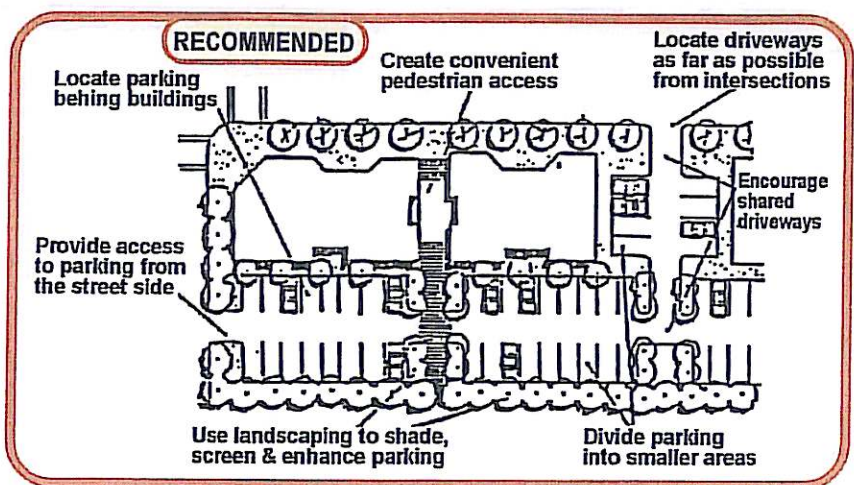
Site design should emphasize the aesthetic screening and shading of parking and be clearly designated by directional signs. Whenever possible, parking areas should be dispersed into smaller components to avoid massing and emphasize landscaping. Parking area walkways should be constructed with safe and well marked materials.

Pedestrian Orientation

All developments should emphasize pedestrian orientation by creating attractive, friendly pedestrian spaces. Outdoor space should be well landscaped and include appropriate furniture and other elements of interest such as sculpture, displays and kiosks.

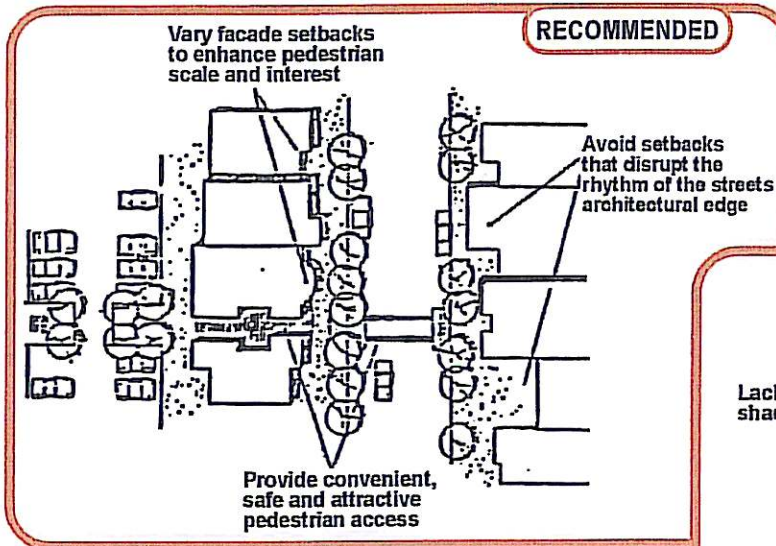
Compatibility

Development should attempt to be compatible with surrounding land uses from both functional and aesthetic standpoints. The location of businesses



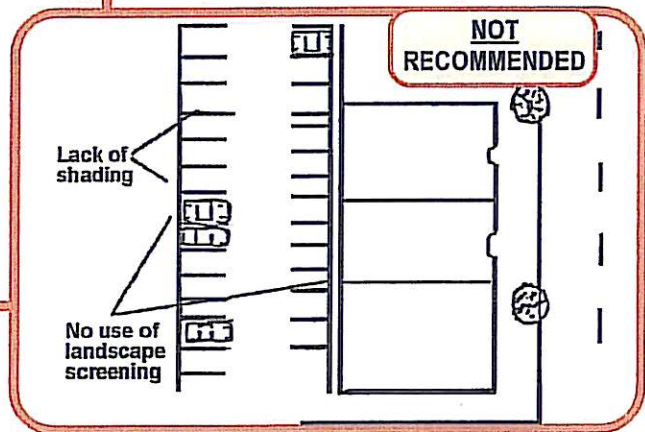
Site Planning (Cont.)

more intimate visual scale along storefronts. With that in mind, deeper setbacks are encouraged only in order to allow for sidewalk widening or the creation of special pedestrian areas such as entryways, courtyards, outdoor cafes, shopping arcades, and other features intended to enhance the pedestrian environment.



Maintenance

A commitment to regular maintenance of the landscaping and building facade ensures continued high property values and creates a desirable downtown environment.



Building Materials

Since the late nineteenth century, the primary building material in Ukiah's downtown core has been masonry. The early buildings in the downtown core were constructed of locally fired brick, while those built after World War II were of concrete block. Many of these buildings have since been resurfaced with either paneling or stucco for either aesthetic or structural reasons, or both. Exposed concrete block should not be used on any wall visible to neighbors or pedestrians. If concrete block is used on visible exterior walls, creative design and surface texturing will be required. Concrete block used on walls not visible to the public; i.e., firewall construction, may be left untreated. Care should be taken when renovating brick surfaces so damage to the bricks does not result from renovation efforts. If it is necessary to replace original brick surfaces, new material should match the color and size of the original brick and mortar. Bonding pattern and size of joints should also match the original sections. Totally new building construction should select exterior finish materials that are compatible in quality, color, texture, finish, and dimension to the surrounding properties.

Suggestion: If you are cleaning any masonry surfaces, methods or materials that you might consider are gentle detergents, appropriate chemicals used per the manufacturer's recommendations, and high water pressure cleaning using correct pressure so as not to destroy brick surface or mortar joints. Sandblasting is not recommended because it defaces or causes severe damage to the brick and stone and accelerates erosion by allowing water to enter the pores.

Color

The Downtown Design Review Board does not approve or disapprove specific colors. However, exterior colors should relate to natural building materials and/or be compatible without being identical to surrounding properties. The use of more than one vivid color per building is discouraged. Color selection for the purpose of individual statement at the sacrifice of the compatibility of the surrounding area is discouraged. Multiple store fronts with a common facade or appearance should strive to coordinate colors during renovation efforts.

Suggestion: If you are having difficulty in selecting colors, the best approach may be to drive or walk through the district looking at other buildings and noting color combinations you prefer. You will notice, too, that it is important for colors to blend with the neighborhood. Very dark colors, too many colors on one building, or stained surfaces are very obvious and often do not harmonize with surrounding buildings. Remember that the colors you select will have an impact on your entire block. A good rule of thumb is: One (1) primary color for the body of the building; one (1) secondary color for major trim and/or cornice work; and one (1) or two (2) colors for minor trim. Your design review board is available to assist you in selecting compatible and harmonious color combinations upon request.

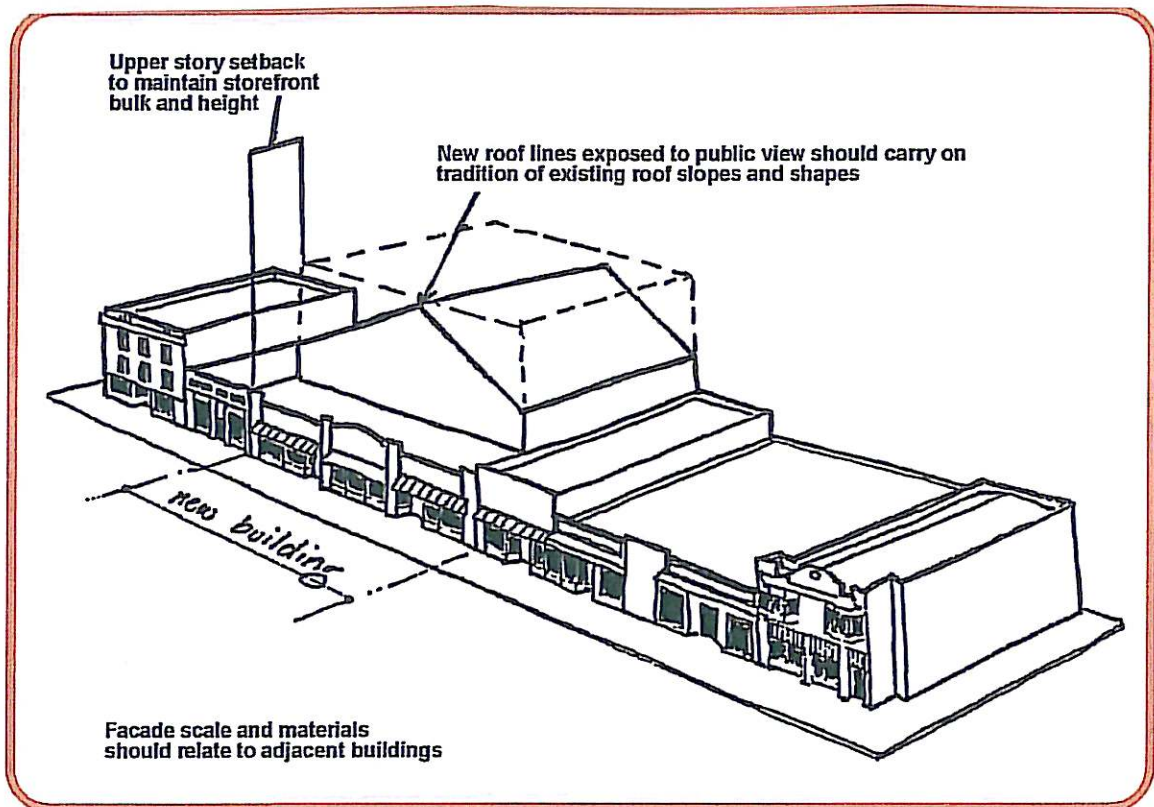
Roofs, Facades & Store Front Openings

Roofs & Rooflines

The form, color, and texture of the roof should be considered an integral part of the building design. Rooflines, materials, and colors of adjacent development should be considered.

Ukiah's downtown core is comprised mainly of traditional relatively flat roofs hidden by the extension of the front wall plane or parapet. Consideration of historical roof forms and decorations is encouraged, particularly if the roof is exposed to public view. Diversity in parapet shapes will add interest to the building or rhythm of existing storefronts.

Suggestion: When installing a new roof that will be exposed to public view, choose a neutral color that will be adaptable to future color changes on the building. Screening for roof-mounted apparatus will be required.



Facades & Store Front Openings

Facades

Property owners that are contemplating facade improvements are highly encouraged to review the building's historical background so that the restoration may reflect a selected period of the building's development conducive with Ukiah's Facade Redevelopment Program. Building facades should be varied and articulated to add visual variety and distinctiveness, and be designed to human scale. Long, straight facades without openings or changes in whole planes should be avoided. Articulation will add three dimensional interest to the building.

Elements typically used to articulate a building's facade include cornice lines, parapets, eaves, awnings, windows, balconies, entry insets and signs. Building entries should be accented with strong architectural definition. Facades without a strong sense of entry should be avoided. Projecting elements such as awnings, trellises and overhangs are effective in adding three dimensional interest to facades and enhancing the sense of entry into the building. Such elements can also improve the pedestrian environment by providing protection from adverse weather conditions. Awnings can be a very effective and inexpensive method of providing storefront dimension, with the added benefit of area for signage. Awning material should be cloth or similar material. Metal awnings are actively discouraged.

Facades & Store Front Opening

BEFORE Lack of architectural elements create a monotonous facade



Example site that is lacking architectural elements...

Alternative architectural elements...

AFTER

If stucco is to remain, the use of medium & light color areas will help to break up the mass of the facade

If brick is under the stucco and the stucco is not for structural stability of the brick the building's appearance would be greatly enhanced by exposing the brick



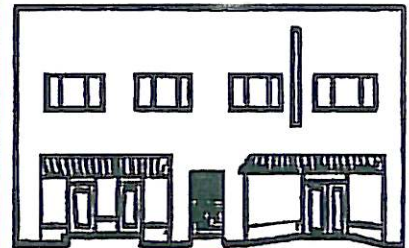
Store names on awning valances

Awnings on separate store fronts within a single building should be the same color

Signs may be painted on the windows

Example site that is stripped of architectural detail...

Older building that has been stripped of architectural detail



BEFORE



Corbelled cornice

Double hung windows

Brick veneer

Awnings of same size and color with main signage on awning valance

Logo painted on glass

First Alternative

AFTER

Second Alternative



Painted bands of light and dark accent colors can be used to define building as lost detailing once did

Awnings over 2nd floor windows

Window planter boxes

Signage band with individual signs

Planter boxes

AFTER

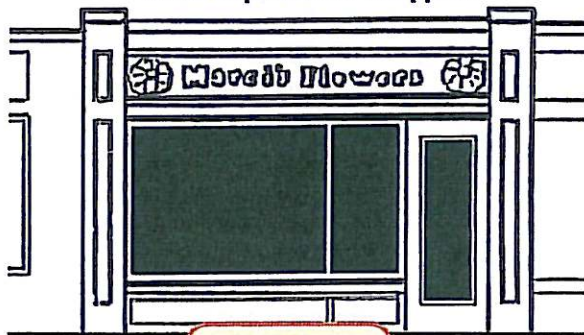
Facades & Store Front Openings (Cont.)

WINDOW OPENINGS

The display window is the link between the pedestrian environment outside and the business activity inside. Window space along a commercial building's frontage should be designed to provide a maximum amount of retail exposure with entryway insets to help break up the building's volume into smaller components and reduce apparent mass, while increasing visual interest.

When renovating a residential structure or converting it to commercial use, care should be taken to preserve the residential characteristics of the building's original architecture.

Wide Pedestrian Level Windows Provide Retail Exposure for Shoppers



RECOMMENDED

Basic Commercial Facade



Cornice:
Building Cap

Upper Facade:
Regularly
Spaced Windows

Storefront:
Entrance &
Windows

RECOMMENDED

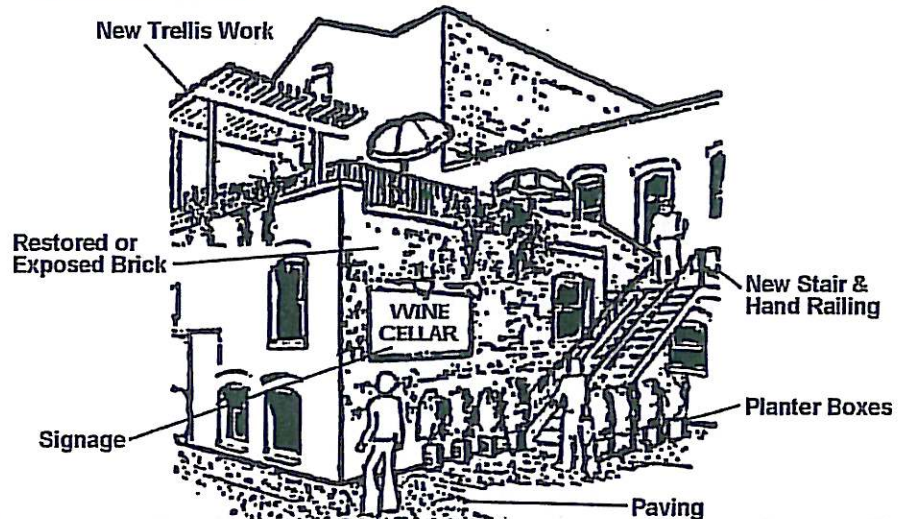
SUGGESTION: Corner properties may want to place primary entryways at the corner of the building to reinforce the street intersection as a focus of pedestrian activity.

REAR ENTRIES

It is important for rear and side entrances to be equally as attractive as the front. The design of each of the building's elevations should be coordinated so that complimentary design and treatment is used on all elevations visible to the public.

RECOMMENDED

REAR ENTRY TREATMENT



New Trellis Work

Restored or
Exposed Brick

Signage

New Stair &
Hand Railing

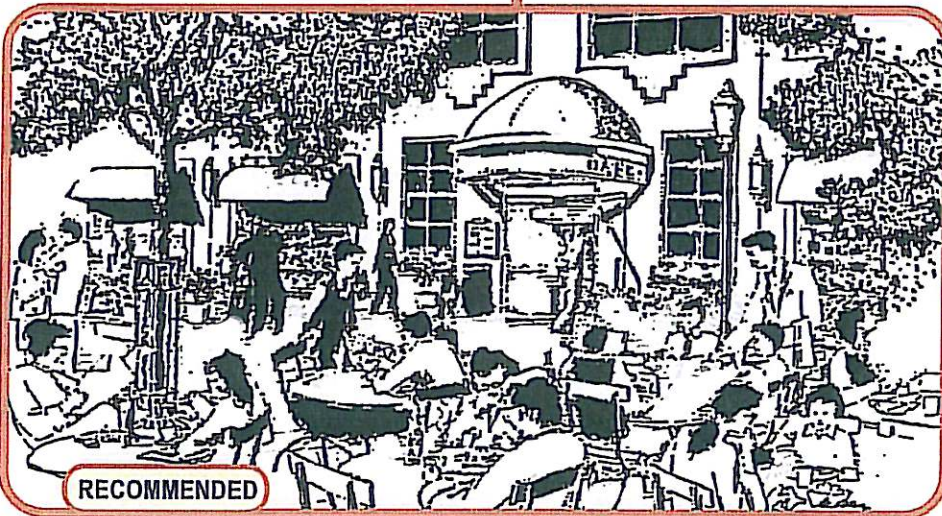
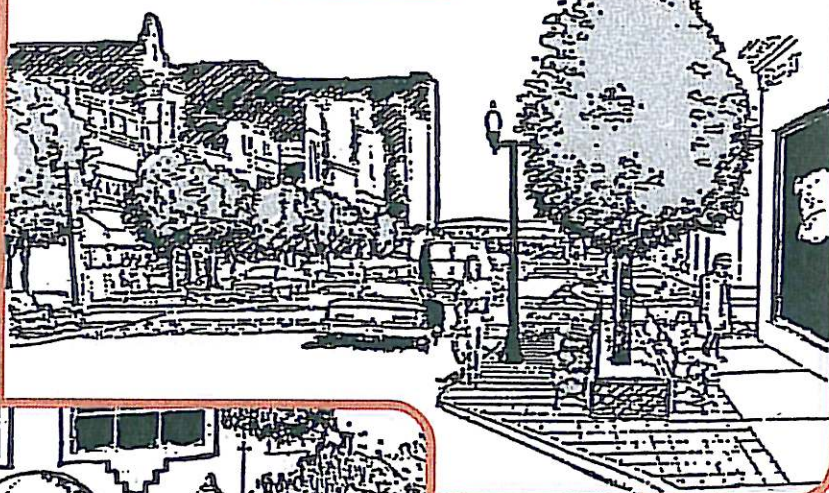
Planter Boxes

Paving

Signs

"...elements which contribute to the quality of a pedestrian area if well designed."

RECOMMENDED



RECOMMENDED

"...encourage gathering..."

Signs

The primary purpose of signs should be to identify the business or businesses located with a specific site. The design of a sign should be simple and easy to read. Signs with messages limited to the business name and logo are most effective.

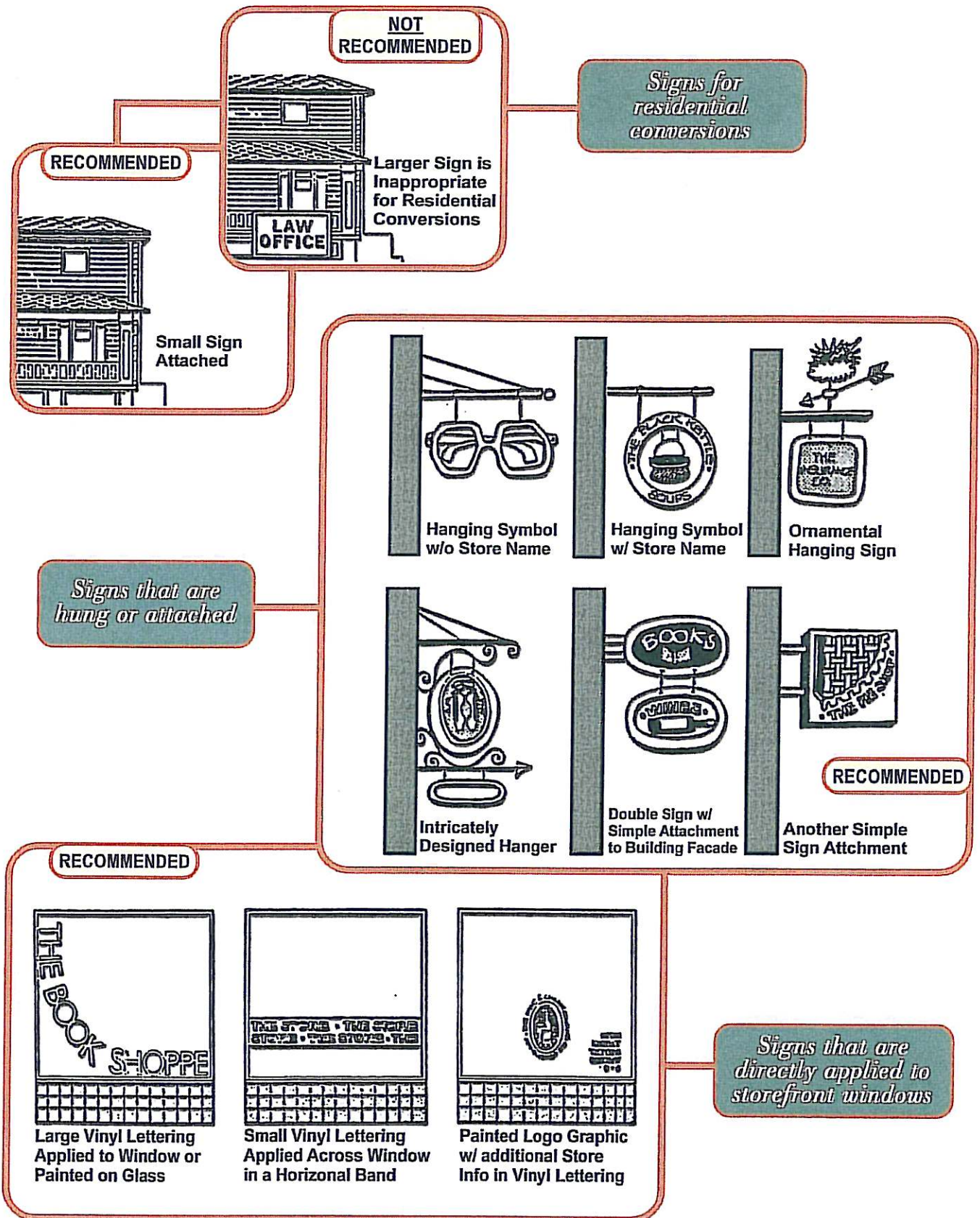
Sign Design

Sign design should conform to the architectural character of the building in terms of historic period, style, location, size, configuration, materials and colors. Awning surfaces are appropriate for sign placement and building owners are encouraged to utilize these areas for signage. Signs attached to a building should be designed to be integral with the building and not obscure or conceal architectural elements. Signing which does not relate to the building architecture is discouraged.

To reduce the visual competition between signs, sign area should be limited to the minimum amount necessary to identify the business. Maximum standards for total sign area are provided in the City of Ukiah Sign Code. Large signs are discouraged and should be broken up into multiple low-impact signs.

Sandwich board signs shall conform to the requirements of the Ukiah Municipal Code, and shall be tastefully designed with subdued colors, minimal sign copy, and a creative appearance.

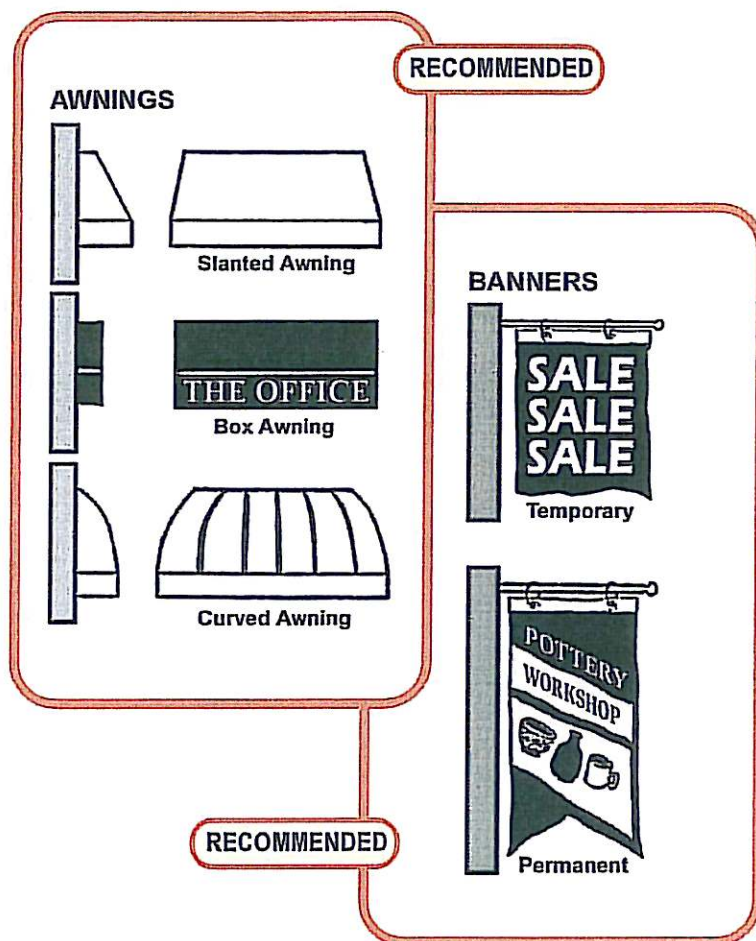
The types of signs permitted are set forth in the City of Ukiah Sign Code; however, all signs constructed in the downtown must be approved by the Design Review Board. You have several options for the placement of signs. The most appropriate will depend upon your building.



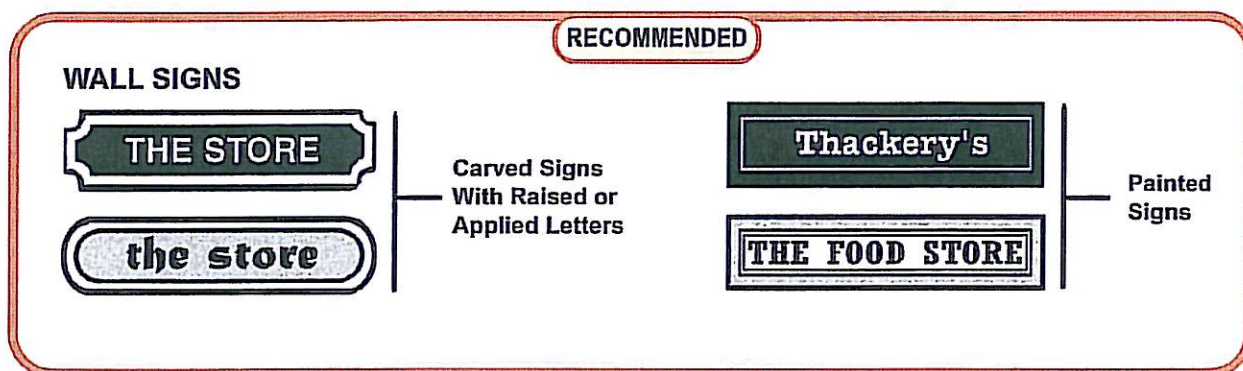
Signs (Cont.)

The following are sign types that will be considered for commercial buildings by the Design Review Board.

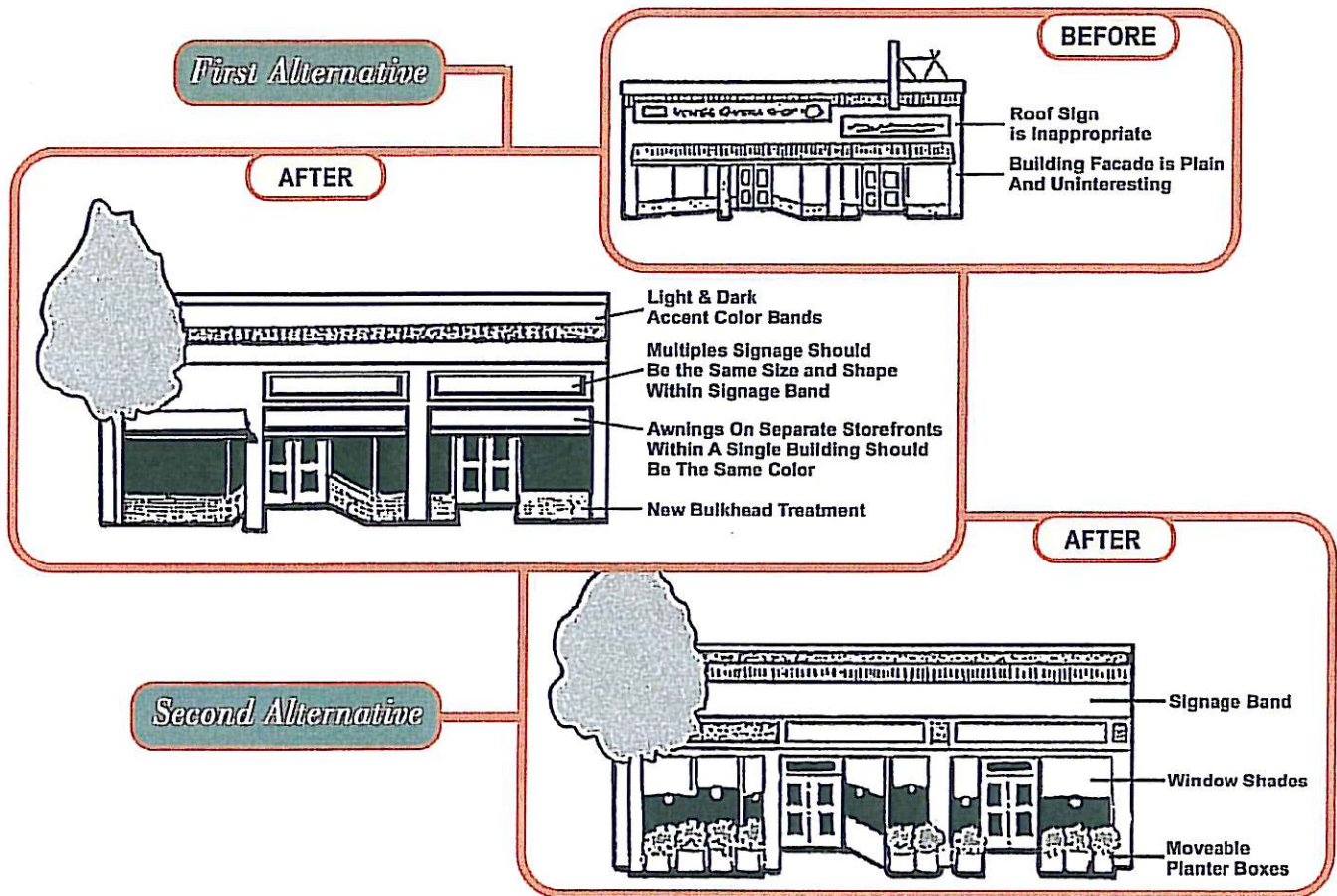
- ❖ Signs can be painted on a band above windows on stuccoed commercial buildings.
- ❖ Painted window signs can be used.
- ❖ Narrow and flat signs can be hung from stationary canopies.
- ❖ Flat signs can be attached to building fronts. These should be flush-mounted.
- ❖ Projecting signs that are limited in size can be attached to building fronts.
- ❖ Detached, freestanding signs are not allowed for structures located directly on the sidewalk line.
- ❖ Exposed tube neon signs are appropriate if integrated into the building's design.
- ❖ Signs permanently attached or intended to be part of an awning.



Suggestion: Multiple tenant buildings should consider developing a sign program that minimizes the visual conflict and competition between tenants, yet insures adequate identification for each. Signing can be very creative and enhancing if applied as an art form. When you consider the type of sign for you business, you may wish to choose a sign easily adaptable to accommodate changes in tenants.



Street & Site Furnishings

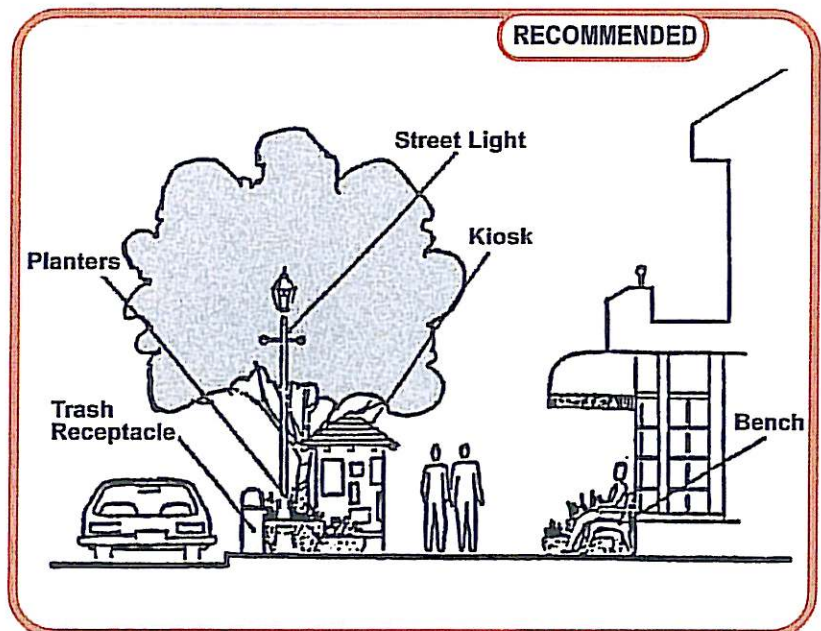


Street & Site Furnishings

Site and street furnishings should be incorporated into outdoor spaces to encourage pedestrian traffic in commercial areas. Benches, seating, walls, trash receptacles, pay phones, newspaper racks and kiosks are all elements which contribute to the quality of a pedestrian area if well designed. Design should be carefully integrated into the overall architectural quality of the area.

Lighting in pedestrian sites should be low or ground level and accented to the site design, providing adequate security while minimizing overhead glare and obtrusiveness.

Benches and other furniture should be configured and designed to encourage gathering.



Pedestrian Circulation & Lighting

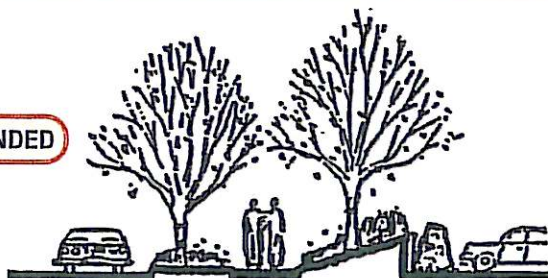
Pedestrian Circulation

Parking area design should include provisions for pedestrian access from parking areas to building entrances. Walkways within parking areas should be clearly marked. They should also feature special design characteristics such as raised and/or textured surfaces, low-level lighting, directional signing and should be bordered by landscaped areas, berms, or low walls to provide adequate security and not impede pedestrian and automobile traffic.

Bicycle parking is encouraged and should be provided closest to buildings to provide adequate security and not impede pedestrian and automobile traffic.

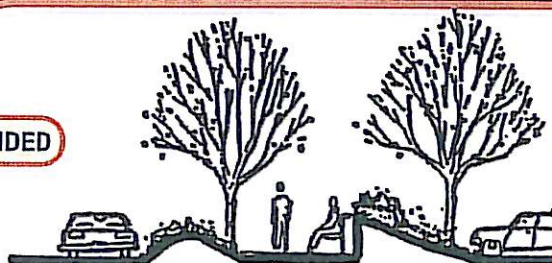
Large, unbroken expanses of paving should be avoided.

RECOMMENDED

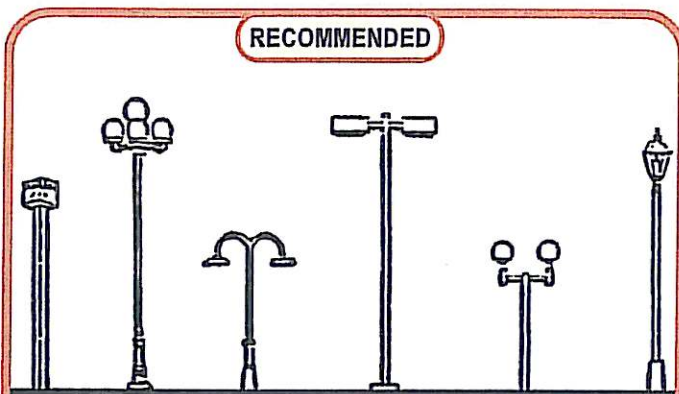


Pedestrian Access to Parking Areas Should Be Designed for Safety and Convenience

RECOMMENDED



RECOMMENDED



Select Lighting Whose Character is Consistent with Image of Area to be Illuminated

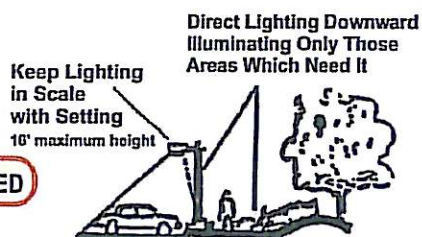
Lighting Design

Exterior lighting should be considered as an integral part of the architectural and landscape design. Site plans and architectural elevations should include location, design and nature of illumination of lighting fixtures.

Lighting should be located in a manner that minimizes its impact on adjacent properties. The placement of light standards should not interfere with pedestrian movement. Fixture styles should compliment the architectural treatment of the site or neighborhood.

Suggestion: In parking areas, illumination levels generally need to be somewhat higher for security purposes; however, illumination should be at ground level wherever possible.

RECOMMENDED



NOT
RECOMMENDED



Landscape Design

Plant Species

Species which are well adapted to the climatic conditions in Ukiah are preferred. Plant species selected for landscaping in permanent plantings should be generally hardy and not require extensive maintenance. Color spots and annual plantings area encouraged.

The scale and nature of landscape materials should be appropriate to the site and structures. Large structures and open sites should be complemented by large scale landscaping.

Plant material should be sized and spaced so that a mature appearance will be attained within a reasonable period of time.

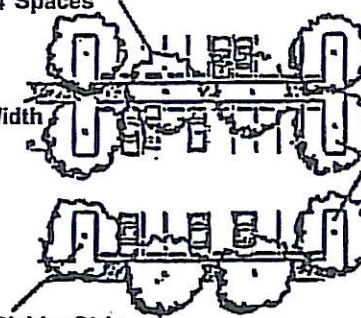
RECOMMENDED

Landscape Parking Areas
With a Minimum of
1 Tree Every 4 Spaces

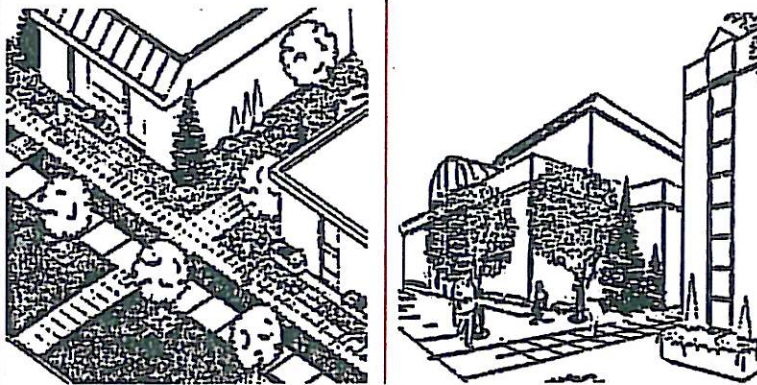
Planter Strip
5' Minimum Width

Curbed Planter Areas
Along Travel Lanes

Landscaped Divider Strip



Landscaping Should Accent the Building Design and Dimensions
But Should not Block Pedestrian Access or Visual Corridor



RECOMMENDED

As a rule of thumb, twenty percent (20%) of the parking lots should be completed in landscaping. Parking areas should space planter areas and trees at least every four stalls. Trees on the south and west sides should be primarily deciduous. Groundcover should consist predominantly of plant materials that are compatible with the trees planted on the site.

Parking Lot Landscaping

All landscaped areas shall have automatic irrigation systems installed to insure plant care and maintenance. Overspray of walkways, parking areas, and pedestrian rest areas must be avoided.

Other Landscaping

Window box plantings and plantings suspended from overhead projections are encouraged to add color and variety to landscaping.

Suggestion: Landscaping should be used to clarify and complement the building site and should enhance the Environment. Choose a plant selection with mature sizes in mind. High maintenance and replacement costs can be avoided by proper initial plant selection.

Pre-Approval Considerations

Now that you have reviewed the guide, apply these questions to your proposed plans before you submit your application. If you can answer yes to all of these questions, your plans have a very good chance for approval. If you have to answer no to any of these questions, you may want to reevaluate your plans in light of the goals and criteria of the Commercial Development Guide. We encourage your design creativity and look forward to working with you.

- 1.) Do your plans relate favorably to the surrounding area? Yes ☐ No ☐
- 2.) Do your plans contribute to the improvement of the overall character of the City? Yes ☐ No ☐
- 3.) Do your plans fit as much as is reasonable with the building's original design? Yes ☐ No ☐
- 4.) Are the changes or new construction proposed in your plans, visible to the public and architecturally interesting? Yes ☐ No ☐
- 5.) Does your project propose a use consistent with surrounding uses and businesses? Yes ☐ No ☐
- 6.) Are all materials proposed in your plans appropriate to the neighborhood? Yes ☐ No ☐
- 7.) Do your plans include landscaping and design to enhance the pedestrian environment? Yes ☐ No ☐
- 8.) Have your plans been designed in accordance with the guidelines set forth in this booklet? Yes ☐ No ☐
- 9.) Are you aware that Ukiah is in Seismic Zone 4 and what that means to your project? Yes ☐ No ☐

City of Ukiah - Commercial Development Design Guidelines

Project Review Checklist

COMMERCIAL PROJECTS WITHIN DOWNTOWN DESIGN DISTRICT

The Planning Commission on June 27, 2007 adopted the following Checklist which is intended to assist developers, staff, policy boards and the public in determining project consistency with the *Commercial Development Design Guidelines* for the Downtown Design District. Please refer to the Guidelines for the full text and illustrations, as the Checklist does not supersede or substitute for the Guidelines. The information in parentheses provides examples of ways to achieve the desired effects, recognizing that it is impossible to reduce the art and practice of design into a checklist of individual elements.

"Architects, project designers and applicants are expected to make a strong and sincere effort to comply with the Guidelines and contribute to the improvement of the City's physical image. Project applicants, with the assistance of their architect and building designees, are expected to put forth a convincing and creative effort when planning development and designing buildings." (*Guidelines*, page 1).

Discussion of Design Elements: Applicants are requested to discuss the following issues in their project application submittal.

1. How does the project design contribute to the improvement of the City's physical image?
How does the project exhibit creativity?
2. What architectural style(s)/period is represented by the project design, if any?
3. After completing the checklist below, explain how the project complies with the various factors below.
4. Are any of the criteria below not met? If so, why not?

COMMERCIAL PROJECTS <u>WITHIN</u> DOWNTOWN DESIGN DISTRICT			
Yes	No	N/A	Yes- consistent; No- Not consistent or more information needed; N/A- not applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Site features (p. 6) Site design is compatible with the natural environment, and incorporates the major existing features (<i>trees, landscaping, city creeks, riparian habitat, lot shape, size, relationship to surrounding area</i>).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Coordination (p. 6) Facilities (<i>driveways, parking, pedestrian plazas, walkways</i>) are shared with adjacent properties (<i>maximize useable area; increase pedestrian features and landscaping; improve design</i>).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Uses are functionally compatible (<i>offices near residential, retail with office or housing above or behind, street level businesses emphasize walk-in traffic: retail, restaurants, personal services</i>).

Yes	No	N/A	COMMERCIAL PROJECTS <u>WITHIN</u> DOWNTOWN DESIGN DISTRICT Yes- consistent; No- Not consistent or more information needed; N/A- not applicable
<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	Setbacks (p. 6) Setback are compatible with the character of adjacent frontages and the block. Setbacks reflect property uses; vary setbacks to enhance pedestrian scale and interest (<i>reduced setbacks enhance pedestrian views of store window displays; increased setbacks accommodate sidewalks, entries, courtyards, outdoor cafes</i>).
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Pedestrian access (p. 6, 11, 14, 16) Pedestrian-friendly design and orientation is emphasized. Facilities are integrated into and compatible with architectural quality of the site and area. Pedestrian spaces are conveniently located, well-marked, safe and lighted (<i>pedestrian spaces visible for safety, low level lighting adequate for security accented to site design, spaces shaded from sun and elements, especially in parking lots</i>). Pedestrian elements are attractive and functional, to increase interest in walking and gathering in outdoor spaces (<i>landscaping, outdoor cafes, benches, seating, kiosks, displays, newsstands</i>). Walkways to parking are functional and safe (<i>walkways link parking to building entrances and other walkways; design features demark or separate walkways from traffic: textured or raised surfaces, grade variations, landscaped berms, low walls</i>).
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Parking lots (p. 6, 16) Decrease visual prominence and reduce heat island effect (<i>locate behind buildings, divide into smaller lots, avoid large unbroken expanses of paving; emphasize screening, shading, landscaping</i>). Adequate directional signage for vehicles and pedestrians. Bicycle parking close to building entries for security; covered if possible,
<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Landscaping (p. 6, 16-17) Scale and nature of landscape materials is appropriate to, complements, and accents the site, building design and dimensions (<i>color accents, annual plantings, window box plantings on overhead projections, landscaping does not obscure walkways or visual corridors</i>). 20% of gross lot area landscaped / 50% live plantings. (<i>Plants are of type, spacing and sizing to reach maturity within reasonable time. Hardy, drought tolerant, low maintenance species adapted to Ukiah climate are emphasized; parking lots trees also withstand heat, pollutants. Deciduous trees on south and west. Groundcover compatible with trees. Street trees selected from Ukiah Master Tree List / plantings per Standard Planning Detail required on private lot or public right of way.</i>) Parking areas with 12 or more stalls: 1 tree per 4 stalls, continuous linear strips minimum 5 feet wide; 50% shading within 10 years; automatic irrigation systems required.
<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>	Signs (p. 12-13) Signs are compatible with architectural character of buildings (<i>historic period, style, location, size, configuration, materials, color- harmonize with design, do not obscure architectural features</i>). Sign program minimizes visual clutter (<i>reduce large and multiple signs, sign area is minimum necessary to identify business, window signs not exceeding 25% of window</i>)

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Yes	No	N/A	Yes- consistent; No- Not consistent or more information needed; N/A- not applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>area, sandwich boards have subdued color/minimal copy/located outside ROW, size of signs on converted residential buildings minimized, signs over public right of way: minimum 8 feet above grade).</p> <p>Preferred commercial sign types: Painted on band above windows on stuccoed building, painted window signs, narrow/flat signs hung from stationary canopies, flat signs flush-mounted on building fronts, projecting signs attached to building front, exposed neon tube signs integrated into building design, signs on awnings. Detached freestanding signs for structures on sidewalk line <u>not</u> allowed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Lighting (p. 14-16)</p> <p>Lighting harmonizes with site, building design, architecture and landscaping (lighting form, function, character, fixture styles, design and placement; lighting does not interfere with pedestrian movement).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Lighting minimizes effects on adjacent properties, auto and pedestrian movement, and night-time sky (downcast and shielded, ground/low level, low intensity, nonglare).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Visual appearance (p. 6-7)</p> <p>Buildings are visually cohesive, compatible and complementary (scale, proportion, design, style, heights, mass, setbacks).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Buildings exhibit variety and distinctiveness (but avoid overly obtrusive or overly monotonous designs, or strong contrast with adjacent buildings).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Buildings exhibit high quality design and construction, with functional design solutions.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Site and buildings are visually attractive from neighboring properties, traffic and corridors, and public spaces (service areas and devices screened, integrated and compatible with site features; above criteria is applied to areas visible to public view; rear and side views are visually interesting, coordinated and well-maintained).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Building exteriors compatible with surrounding properties (compatible or better quality, compatible with natural materials, coordinated but not the same as surrounding properties, avoid more than one vivid or bright color per building, avoid concrete block on visible exterior walls: if used then creative design and surface treatments required).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Reconstruction, repair, alterations (p. 7)</p> <p>Preserve original character of site (use original materials present on the site, avoid damage to brick surfaces or match original character if brick must be replaced, preserve original character of residential site if converted to commercial use).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Protect historical structures and sites ^(Note 1); indicate applicability of State Historic Building Code, address pre-1972 construction and unreinforced masonry issues.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Roofs and rooflines (p. 8)</p> <p>Roofs and rooflines visually compatible with building design and surrounding area (roof and rooflines compatibility; diverse parapet wall shapes, consistent historical roof forms and decorations, neutral roof colors; form, color and texture are integral part of building design; rooftop apparatus screened).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Facades and entryways (p. 8- 11)</p> <p>Facades are varied and articulated (cornice lines, parapets, eaves, cloth awnings, balconies, signs, entry insets, trellises, overhangs, planter boxes, 3-dimensional articulation; avoid long, straight facades without change in planes or openings, maximize</p>

			COMMERCIAL PROJECTS <u>WITHIN</u> DOWNTOWN DESIGN DISTRICT
Yes	No	N/A	Yes- consistent; No- Not consistent or more information needed; N/A- not applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>windows along commercial frontage; building entryways have strong architectural definition)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Facade improvements are compatible with historical background.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rear and side entries and elevations are attractive and visually coordinated with others within same viewshed.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Maintenance (p. 7)
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Demonstrate consideration of site and building maintenance.

Note 1: Architectural and Historical Resources Inventory Report, Ukiah California 1984-1985 – available at City of Ukiah; also documents at Held-Poage Memorial Home and Library, 603 W. Perkins Street.

Other Considerations

A variety of site and building design issues have increased in importance to the public and policy boards since the Guidelines were written in the early/mid 1990s. Some of those are expressed below. The Checklist will be modified from time to time.

Yes	No	N/A	OTHER CONSIDERATIONS
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Walkable and bikeable communities
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The project provides connections for walkers and bicyclists to the surrounding community (<i>provides walking/biking facilities on the site, connects to nearly walking/biking facilities, provides shortcuts for walkers/bikers, project is located within 1/4-1/2 of other places to walk</i>).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sidewalks provide are convenient and safe access (<i>sidewalks sufficiently wide, without obstruction; curbs, shade, lighting provided; buffers between walkers and traffic provided; safe and direct street crossings for walkers</i>).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Entrances provide convenient access (<i>entrances adjacent to street, minimal setback, routes and accessways are well marked, sidewalks provided uninterrupted access to entrances, safe bike parking is located close to entrances</i>).
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Green building (incorporating green building elements)*
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sustainable site
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Water efficiency
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Energy
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Materials and resources
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Indoor environmental quality
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Visitability and universal design (<i>the site and its elements are accessible to people at differing stages, ages and circumstances of life: accessible primary and interior entrance and routes, accessible kitchen and bath space and devices, for dwellings-accessible bedroom, common room, and devices</i>).

* See Green Building Council LEED and other guidelines for detailed measures:

<http://www.usgbc.org/DisplayPage.aspx?CategoryID=19>

<http://www.nrdc.org/buildinggreen/strategies>