



Objective Design and Development Standards

FOR NEW RESIDENTIAL CONSTRUCTION

Informational Icons



The following design and development standards with the leaf logo indicate alignment with sustainability practices.



The following design and development standards with the law enforcement logo indicate alignment with Crime Prevention Through Environmental Design (CPTED) practices.

California is in the midst of a housing crisis in which communities throughout the State are challenged with accommodating their fair share of housing production. The housing shortage has prompted the State legislature and Governor to enact new laws requiring cities and counties to streamline housing approval by establishing a by-right, ministerial approval process for all new residential construction, excluding single-family homes. Key to ministerial approval is the replacement of subjective design guidelines and discretionary review with objective design standards and ministerial approval.

In October of 2019, the City of Ukiah adopted an updated Housing Element for the 2019-2027 planning cycle. This update brought about substantive changes in format and content from the previously adopted Element to address the multitude of State law changes. Following Housing Element adoption, Ukiah has prepared objective design standards that remove barriers to and reduce costs for new residential construction, excluding single-family homes, while still protecting the residential character of its neighborhoods.

A. Development Standards.

1. Setbacks.

- a. **Front.** The front setback shall comply with the base zone front setback requirements.
- b. **Setback Landscaping.** Areas between the required setback and street improvements shall be landscaped per the landscaping requirements in Subsection (A)(11).
- c. **Side (Interior).**
 - (1) **Minimum Side Setbacks.** There is no minimum interior side setback, provided that structures comply with the Building and Fire Code standards for structure separation.
 - (2) **Zero Setback.** If zero setbacks are proposed, the side setback opposite the zero setback shall be a minimum of five feet.
- d. **Rear.** The rear setback shall comply with the base zone rear setback requirements.

- 2. **Property Access.** There shall be vehicular access from a dedicated and improved street, easement, or alley to off-street parking areas.

3. **Street Frontage.** Every primary residential structure shall have frontage on a public street or an access-way which has been approved for residential access by the City.
4. **Structure Orientation.** Structures shall incorporate site design that reduces heating and cooling needs by orienting structures (both common facilities and dwelling units) on the parcel to reduce heat loss and gain, depending on the time of day and season of the year. 🌿
5. **Structure Height.** Structure height shall comply with the base zone maximum allowable height.
6. **Alternative Energy Applications.** All structures shall be designed to allow for the installation of alternative energy technologies including but not limited to active solar, wind, or other emerging technologies, and shall comply with the following standards: 🌿
 - a. Installation of solar technology on structures such as rooftop photovoltaic cell arrays shall be installed in accordance with the State Fire Marshal safety regulations and guidelines.
 - b. Roof-mounted equipment shall be located in such a manner so as to not preclude the installation of solar panels, as shown in Figure 1-1.

Figure 1-1

Application of Roof-Mounted Equipment



7. **Utility Lines.** All utility lines from the service drop to the structure shall be placed underground.
8. **HVAC Systems.** All HVAC systems shall be located on the roof of the structure to minimize noise impacts to adjacent properties.
9. **Mail and Package Delivery Location.** For multi-family development projects greater than four dwelling units, mailboxes and package delivery areas shall be in locations that are visible by residents at the interior of a structure entrance, elevator lobby, or stairwell. 🏠
10. **Primary Entrances.**
 - a. **Entry Lighting.** All primary structure entrances shall include dusk to dawn lighting for safety and security per Subsection A(15). 🏠
 - b. **Interior-Facing Structures.**
 - (1) The primary entrance of each interior-facing structure shall be oriented toward paseos, courtyards, pathways, and active landscape areas.

- (2) For safety, units not facing the street shall be oriented to provide visual access to entryways, pedestrian pathways, recreation areas, and common facilities from dwelling units. 🏠

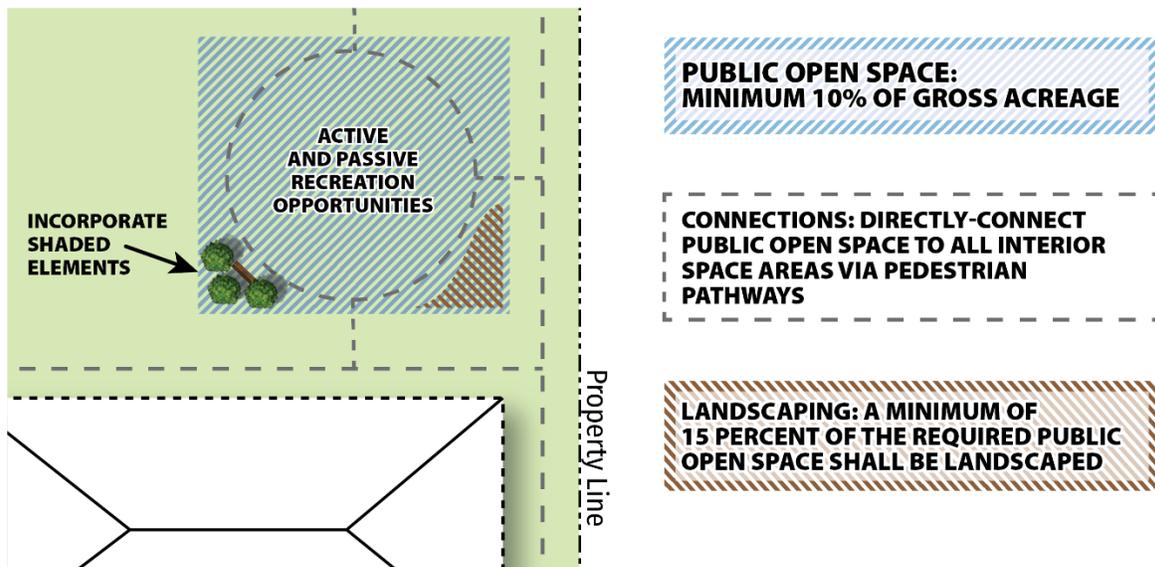
11. Open Space. The following development standards apply to multi-family developments greater than four dwelling units.

a. Public Open Space.

- (1) **Public Open Space.** Not less than 10 percent of the gross acreage of the total project shall be set aside as public open space to allow for active and passive recreation opportunities and that includes shading elements to benefit all residents of the project, as shown in Figure 1-2. Open space ownership and maintenance shall be the responsibility of the property owner(s).

Figure 1-2

Configuration of Public Open Space



- (2) **Connections.** Public open space areas shall be directly connected to all interior space areas (i.e., community room, recreation room, exercise center), trash and recycling enclosures, laundry facilities (if applicable), structure entrances, parking areas, and mail delivery areas by pedestrian-oriented pathways.
- (3) **Landscaping.** A minimum of 15 percent of the required public open space shall be landscaped with materials and plantings consistent with the standards in Subsection (A)(12) (Landscaping) and the subject parcels underlying base zone landscaping requirements.
- (4) **Lighting.** In addition to the Exterior Lighting standards in Subsection (A)(15), public open space areas shall incorporate accent lighting. Accent lighting may include string lighting in trees or crisscrossed over pedestrian area via, courtyards, or plazas; lighting in fountains; or lighting of significant structures or architectural design features.
- (5) **Public Gathering Space.** Public open space areas shall include a minimum of two of the following public gathering spaces:

- a) Patio seating area for a minimum of eight people. Patio seating can be fixed chairs and tables, table/bench combination, or landscape materials (i.e., slabs of stone or rock);
- b) Garden space;
- c) Water feature in the form of a fountain, bubblers, or water play pad;
- d) BBQ area no smaller than 200 square feet with a minimum of three BBQs and tables; or
- e) Pedestrian plaza no smaller than 200 square feet with a minimum of four benches.

(6) Recreation Facilities. A maximum of 25 percent of the required public open space area may be paved for recreation facilities including but not limited to basketball courts, tennis courts, common playground, or swimming pools.

b. Private Open Space.

(1) Ground Floor Units. Each ground floor dwelling unit shall include a minimum of 40 square feet of private open space in the form of a covered or uncovered patio to allow for light, air, and privacy.

(2) Above Ground Floor Units. Each above ground floor dwelling unit shall include a minimum of 40 square feet of private open space in the form of a terrace, balcony, or rooftop patio to allow for light, air, and privacy.

12. Landscaping (see Figure 1-3).

a. Landscaping Plans. Existing features, such as trees, creeks, and riparian habitats shall be incorporated into landscaping plans.

b. Site Landscaping.

(1) All street trees shall be planted consistent with the Standard Planting Detail on file with the City Engineer.

(2) Vegetation (i.e., bushes, shrubs, flowers) shall be maintained at a height of no more than three feet when located adjacent to pedestrian pathways and building facades and placed in such a manner that does not obstruct lighting. 🌿

c. Irrigation. Site landscaping shall include an automated irrigation system with a minimum of 75 percent of system being drip irrigation to reduce water consumption.

d. Maintenance. All trees and onsite landscaping shall be maintained by the property owner.

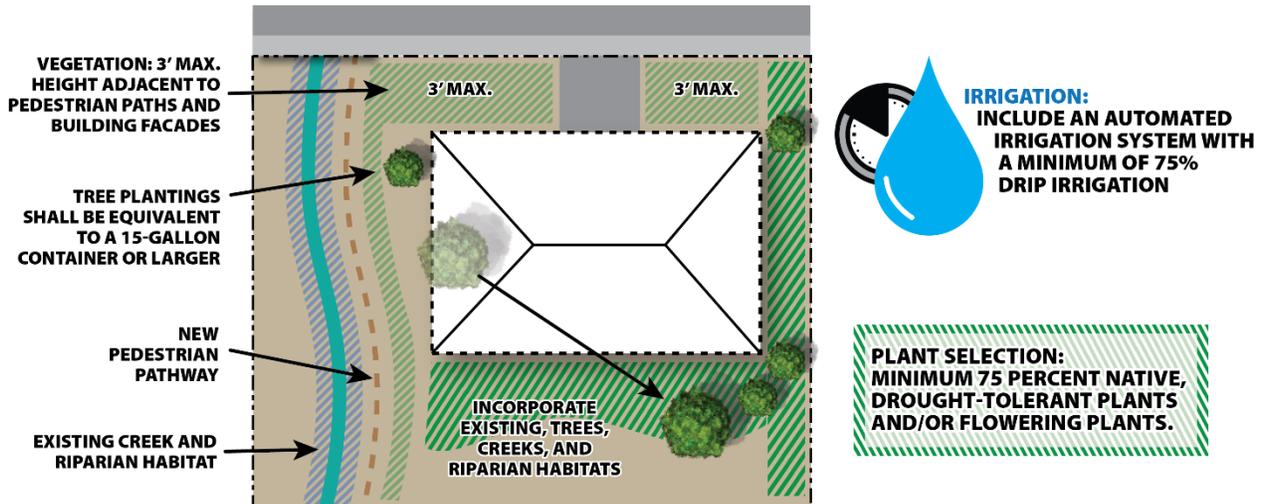
e. Landscaping Plant Selection.

(1) Landscape planting shall consist of at least 75 percent native, drought-tolerant plants and/or flowering plants. 🌿

(2) All tree plantings shall be equivalent to a 15-gallon container or larger.

(3) Street trees shall be selected from the approved species on the Ukiah Master Tree List – Required Street Tree List.

**Figure 1-3
Landscaping**



13. Personal Outdoor Storage Spaces. A minimum of 10 square feet (80 cubic feet) of personal outdoor storage space shall be provided for each dwelling unit. Personal outdoor storage areas shall be covered and able to be locked.

14. Bicycle Parking (see Figure 1-4).

- a. Class I Bicycle Parking.** One Class I bicycle parking space (i.e., bicycle locker) is required for every 15 dwelling units. The Class I bicycle space shall be located within or directly adjacent to the required public open space area.
- b. Class II Bicycle Parking.** For multi-family development projects greater than four dwelling units, one Class II bicycle parking space (i.e., inverted U-rack, ribbon rack, wave rack) is required for every three dwelling units. The Class II bicycle space shall be located within or directly adjacent to the required public open space area.

**Figure 1-4
Bicycle Parking**



15. Parking and Circulation.

a. Parking Areas.

(1) Parking Lot Design and Location.

- a) Parking is prohibited within required sight distance areas.
- b) Multi-family development projects greater than 15 dwelling units shall not site more than 50 percent of the total parking stalls in a single parking area.
- c) Multi-family development projects greater than four dwelling units shall not provide parking areas between the building(s) and the primary street frontage.
- d) Parking areas within a site shall be internally connected and use shared driveways.

(2) Parking Lot Landscaping. The following development standards apply to multi-family developments greater than four dwelling units.

- a) Parking areas with 12 or more parking stalls shall have a tree placed between every four parking stalls with a continuous linear planting strip, rather than individual planting wells, unless infeasible.
- b) Parking areas shall provide shade trees in landscaped areas and along pedestrian pathways. Parking areas shall be designed to provide a tree canopy coverage of 50 percent over all paved areas within 10 years of planting.
- c) Parking areas shall provide a minimum 10-foot buffer between the parking and structures. This buffer can include walkways and/or landscaping.
- d) Parking areas shall use concrete curbing or raised planting areas to protect landscaped areas from encroaching vehicles.
- e) At least 75 percent of parking lots trees shall be deciduous species.

(3) Parking Lot Lighting. The following development standards apply to multi-family development projects greater than four dwelling units.

- a) Parking lots shall include pole mounted lighting that shall be no more than 16 feet in height.
- b) Parking lot lighting shall be directed downward to minimize glare.

(4) Carports. Carports shall be reserved for vehicles and shall not be used as storage space.

(5) Individual Garage Parking. For multi-family development projects greater than four dwelling units, indoor vehicle parking in the form of garages is encouraged, but not required.

b. Required Parking.

(1) Guest Parking. A minimum of three guest parking spaces shall be provided for every six dwelling units.

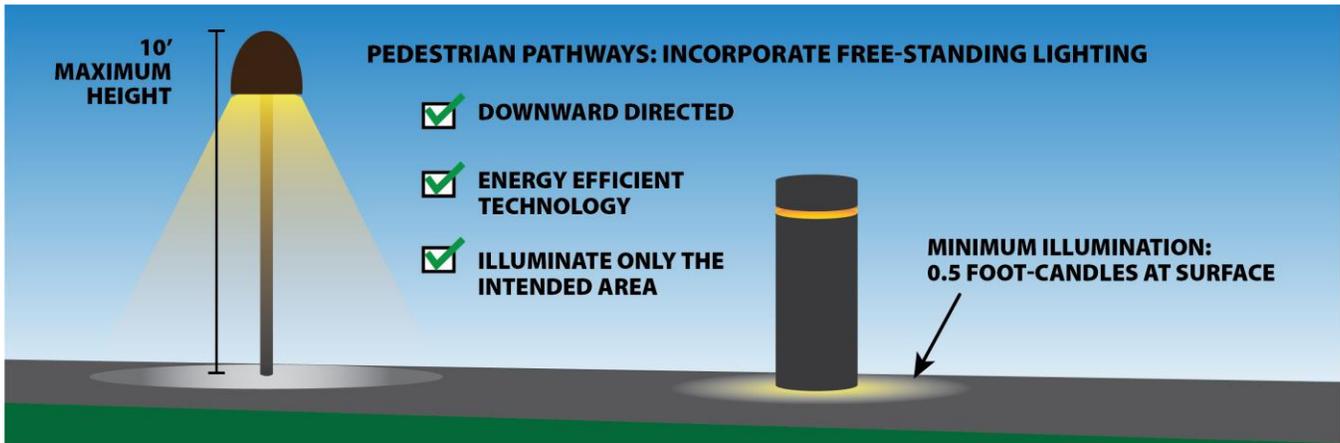
(2) Parking Standards. Multi-Family dwelling parking standards shall be consistent with the parking regulations in Article 17 (Off-Street Parking and Loading).

16. Exterior Lighting (see Figure 1-5).

- a. Pedestrian-oriented lighting shall be provided in active pedestrian areas (i.e., paseos, interior sidewalks, pathways, etc.) for safety and security. 🚶
- b. Pedestrian pathway (excluding street fronting sidewalks) lighting features shall not exceed 10 feet in height.

- c. Active pedestrian areas shall incorporate free-standing lighting separate from structures.
- d. Pedestrian pathways, elevator lobbies, parking areas, stairwells, and other common areas shall have minimum illumination levels of 0.5 foot-candles at the pathway surface to clearly show walking conditions. 🗺️
- e. Overhead sports court lighting shall illuminate only the intended area. Light trespass onto neighboring parcels is prohibited.
- f. Outdoor lighting shall use energy efficient lighting technology and shall be shielded downward to reduce glare and light pollution. 🌿

**Figure 1-5
Exterior Lighting**



- 17. **Privacy.** Any balcony, window, or door shall use at least one of the following development approaches to lessen the privacy impacts onto adjacent properties. These techniques include, use of obscured glazing, landscaped/privacy buffer in the required setback with a minimum of five feet, window placement above eye level, or locating balconies, windows, and doors facing toward the street and backyard. Trees and landscaping used as a landscaped/privacy buffer shall be planted and maintained by the property owner to preserve the privacy of adjacent property owners.
- 18. **Trash and Recycling Enclosures.** The following trash and recycling enclosure development standards apply to multi-family development projects greater than four dwelling units.
 - a. Walls either made of masonry, metal, or wood with finished metal doors.
 - b. Vehicle and pedestrian access gates.
 - c. Downward lighting for safety and security. 🗺️
- 19. **Structure Identification.** Structure identification numbers shall be placed along pedestrian pathways and roads and shall be readable from a distance of at least 60 feet. 🗺️
- 20. **Signage and Information.** Developments shall comply with the Sign Standards in Division 3, Article 7 of the Municipal Code (Signs). In addition, all directional signage and informational kiosks (i.e., development maps) shall be located at the entrances of individual buildings and at convergences of main pedestrian pathways. 🗺️

B. Design Standards.

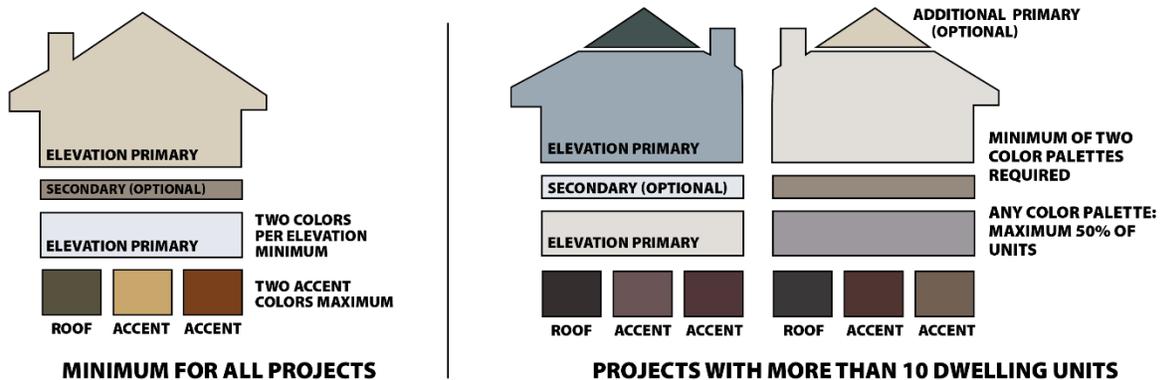
1. Carports.

- a. For multi-family development projects greater than four dwelling units, carports shall not be visible from the street.
- b. Carports shall include the approved color palette, materials, and design elements of the structure.

2. Color Palettes (see Figure 1-6).

- a. All structures shall include at least one primary color and a maximum of two accent colors, in addition to the color of the roofing material.
- b. Each structure elevation shall include two colors in the selected color palette.
- c. Projects that include more than 10 dwelling units shall include at least two-color palettes, where no single-color palette shall be used on more than 50 percent of the dwelling units.

Figure 1-6
Color Palettes



3. Fences and Walls. The following materials are prohibited for all fences and walls:

- a. Electrified;
- b. Barb wire/razor wire;
- c. Sharp objects such as spires and glass;
- d. Cyclone or chain link; and;
- e. Vinyl.

4. Glazing. Structures shall incorporate the use of energy efficient glazing to reduce heat loss and gain. 🌿

5. Common Mailboxes. Common mailboxes shall be painted using the approved color palette for the overall development.

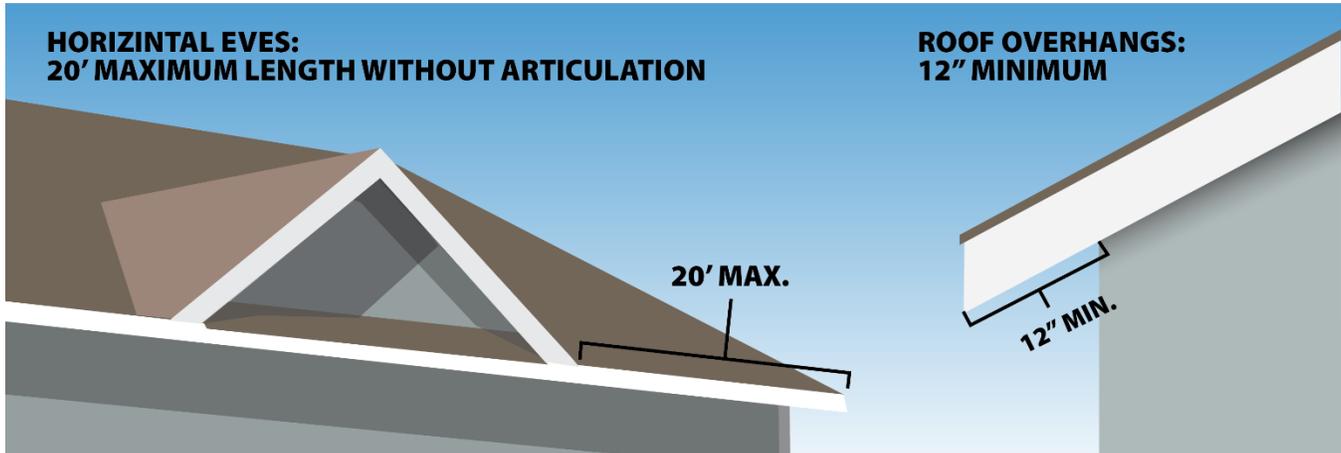
6. Trash and Recycling Enclosures. Trash and recycling enclosure walls and metal doors shall be painted in accordance with the approved color palette for the overall project.

7. Roof Design and Materials (see Figure 1-7).

- a. Horizontal eaves longer than 20 feet in length shall be broken up by gables, building projections, or other forms of articulation.

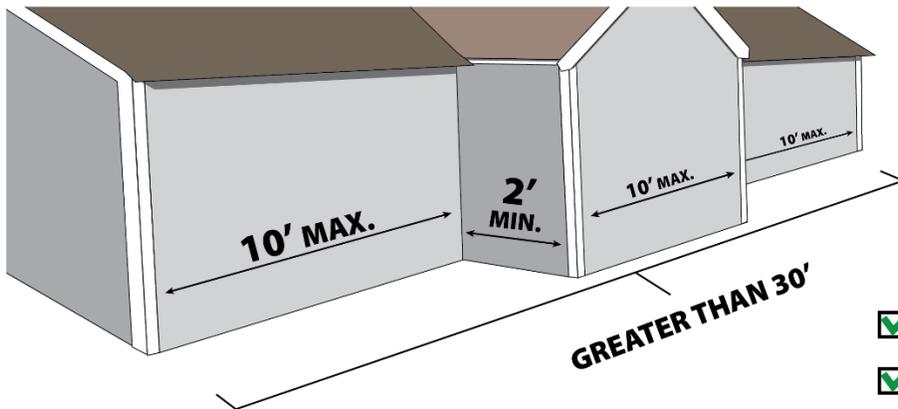
- b. Roof overhangs shall be a minimum of 12 inches.

Figure 1-7
Roof Design



- c. The following are allowable roofing materials:
- (1) Non-reflective standing seam metal roofs in shades of tan, brown, black, light blue, red, and green;
 - (2) Cool foam roofs (white);
 - (3) Clay tile; and
 - (4) Architectural composition shingles.
- 8. Screening.** All screening of ground-mounted, wall-mounted, and roof-mounted equipment shall be painted in accordance with the approved color palette for the project. Visual screening shall be installed if ground-mounted or wall-mounted equipment faces the street.
- 9. Stairways/Stairwells.** Exterior stairways/stairwells that are not enclosed shall not be visible from the public right-of-way. 🚫
- 10. Structure Massing.** Structures that have a length longer than 30 feet shall include facades with varying modulation with a minimum depth of 2 feet at intervals of no more than 10 feet, as shown in Figure 1-8.

**Figure 1-8
Structure Massing**



- MINIMUM DEPTH OF 2'
- INTERVALS OF NO MORE THAN 10'

11. Structure Materials and Elements.

- a. Drainpipes, parapets, and ledges shall not be located near windows, corridors, and balconies. If such placement is not feasible, they shall face parking lots, public spaces, and roads.
- b. All structures shall include a minimum of two primary materials (i.e., stone, wood, masonry, or metal) on each structure elevation. Each material shall comprise at least 20 percent of the elevations excluding windows and railings.
- c. All structures that use exterior veneers shall ensure the edge of the veneer is not obvious by prohibiting the use of vertical joints at exterior corners.
- d. The following primary structure materials are prohibited:
 - (1) Heavy timber, exposed logs in their natural state;
 - (2) Stucco textured foam, synthetic stucco, vinyl or vinyl clad materials; and
 - (3) Unfinished galvanized metals.